

# Harriott at Armstrong Creek

## Stage 8A



### GENERAL NOTES

- The works shall be constructed in accordance with the current Infrastructure Design Manual (IDM) and the City of Greater Geelong requirements. Works to be carried out to the satisfaction of Council's supervising officer.
- The contractor is responsible for safety of work on site in accordance with appropriate legislation. The contractor shall ensure that the site is maintained in a safe manner at all times.
- The contractor shall:
  - Comply with the requirements of the Occupational Health and Safety Act 2007.
  - Notify Workcover of their intention to commence trenching operations where trenches are 1.5 metres or deeper.
  - Ensure that the mine manager or his deputy as required by the Act is in attendance when trenching operations are in progress.
- The contractor is to notify council and all service authorities seven (7) days prior to commencement of construction.
- The location of existing services should be determined by the contractor prior to commencing any excavation by contacting all relevant service authorities. Any existing services shown on the drawings are offered as a guide only and are not guaranteed as correct.
- Removal or retention of existing trees or vegetation must be in accordance with the approved tree removal plan.
- No surplus trees, vegetation or other materials are to be burnt on site.
- All road chainages are measured along the road centreline except kerb returns and courtheads, where lip of kerb chainages are specified. All dimensions and radii are given to the lip of kerb. Do not scale off these drawings, written dimensions only shall be used.
- All levels are to Australian Height Datum (AHD). All coordinates are to Map Grid of Australia (MGA).
- Any existing pavement or drainage works damaged during construction or the maintenance period to be reinstated to the satisfaction of the Council.
- Upon the completion of construction, the whole site shall be cleaned up and graded over. All rubbish is to be removed and the site is to be left in a clean and tidy condition to the satisfaction of the superintendent.

### EARTHWORKS NOTES

- A site environmental management plan is to be approved by Council prior to works commencing. The requirements of the plan are to be maintained onsite for the duration of the works.
- Filling in all properties & road reserves is to be carried out using approved clay fill. Topsoil & all vegetable matter to be stripped from site prior to filling. All filling to be carried out in 150mm layers and compacted to 95% of max. dry density. All filling to comply with AS 3798-2007, Section 8.2, Level 1. A fill report must be submitted from NATA registered soil testing laboratory.
- The nature strips and cut or filled areas are to be topsoiled with 100mm of approved material. If the existing topsoil is unsuitable then approved topsoil shall be imported at the contractor's expense.
- Batters into allotments shall not be steeper than 1 in 6 unless shown otherwise.
- Blocks shall be graded to ensure a minimum grade of 1 in 200 to the point of drainage, unless shown otherwise.
- No topsoil to be removed from site without the approval of council.
- If any existing substandard filling is encountered on the site it must be removed and replaced with approved fill material properly compacted to Council requirements. A geo-technical report must be submitted showing details of depth, type of material and density of the fill areas concerned.
- Invert levels must be taken prior to filling of any existing dams or channels and levels provided to the superintendent.

### PAVEMENT NOTES

- Where pavement excavation is in rock, all loose material (including rocks and clay) are to be removed and subgrade regulated with approved structural material.
- Pavement sub-base and bedding to kerb and channel is to extend 150mm behind the back of kerb as per IDM SD 145.
- Vehicle crossings are to be constructed in accordance with City of Greater Geelong Design Note No. 4 and detail sheet 4. All concrete is to be 32MPa.
- Paths are to be constructed in accordance with IDM SD 205 using 32MPa concrete.
- Refer to the City of Greater Geelong Design Note No. 12 with additional details on the quality and finish of concrete infrastructure.

### DRAINAGE NOTES

- All stormwater pipes are to be Class 2 with rubber ringed joints unless noted otherwise.
- Stormwater pipes under road pavements, driveways, footpaths, parking bays and behind kerb and channel to be backfilled with 20mm Class 3 fine crushed rock (wetmix) compacted to 98% modified in maximum 150mm layers.
- Stormwater pipes under roads are to have 2% stabilised sand embedment to springline.
- House drains are to be offset 6.0m from the low side boundary (or driveway side for lots narrower than 12.0m) unless noted otherwise. They are to be constructed at a minimum depth of 600mm below the lowest corner level. The house drain location to be inscribed with a 50mm high "H" on the back of kerb.
- Property inlets are to be offset 1.0m from low side boundary unless noted otherwise. They are to be constructed at a minimum depth of 600mm below finished surface level.
- Subsoil drains shall be installed behind all kerb and channel in accordance with IDM SD 145.
- A CCTV report must be provided on all drainage pipelines prior to practical completion of works.
- No stormwater drainage pipes shall be subjected to construction traffic loading during construction unless the pipe strength characteristics have been computed and approved by the contractors engineer. Computations are to accord with AS3725-1989 Loads on Buried Pipes.
- Concrete pipes damaged due to construction loads shall be repaired at the contractors cost.

### SERVICES NOTES

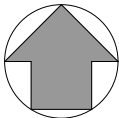
- The contractor shall co-operate with all service authorities and shall ensure that all services are installed prior to the final pavement course.
- All service trenches under road pavements, vehicle crossings and footpaths to be backfilled with crushed rock in accordance with Council's specification.
- The contractor shall check with the superintendent the exact location of all services prior to the installation of conduits.
- Conduit locations are subject to amendment and conduits shall not be laid until written approval is given by the superintendent.
- Gas and water conduits are to be 50mm PVC with separate conduits for DW and NDW property connections. They are to be laid at a minimum depth of 600mm below road finished surface levels to the satisfaction of the superintendent.
- Gas mains, fittings and marker tape are to be supplied by the gas authority. Excavation, supply and placement of required backfill to be by others.
- Two weeks notification of commencement of excavation works shall be given to the gas authority.
- Electrical distribution pits must have a minimum clearance of 300mm from edge of path.
- Communications conduits and pits are to be provided in accordance with the approved NBN plans.
- Both kerbs are to be marked with the letters G, W, E and T above the conduit locations.

### SIGNS AND PAVEMENT MARKINGS

- All pavement markings, signing & traffic control devices for this project to be in accordance with Australian Standard AS1742.
- All line marking to be long life road marking, with longitudinal lines in thermoplastic and transverse markings in cold applied.

DRAWING INDEX		
REFERENCE		DRAWING No.
Locality Plan, Drawing Index & General Notes		0352-08A-R01
Layout Plan		0352-08A-R02
Allotment Benching Plans		0352-08A-R03
Pavement Compositions & Details		0352-08A-R04
Typical Sections		0352-08A-R05
Road Longitudinal Sections	Aeolus Street	0352-08A-R06
	Harkness Boulevard	0352-08A-R06
Cross Sections	Aeolus Street	0352-08A-R07
	Harkness Boulevard	0352-08A-R08 to R09
Signage & Linemarking Plan		0352-08A-R10
Drainage Longitudinal Sections		0352-08A-R11
Pit Schedule		0352-08A-R11

Rev	Amendment	Des/Dft	App'd	Date
A	Initial Issue	GP/DP	MG	27/03/22
1	Approved for construction	GP/DP	MG	03/06/22
2	As constructed	GP	MG	17/03/23



Principal



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Council City of Greater Geelong

Project **Harriott at Armstrong Creek  
Stage 8A**

Title  
Locality Plan, Drawing Index & General Notes

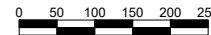
Designed: G.Pratt

Authorised: M.Graham

Drafted: D.Pratt

Date: March 2022

Scale @ A1: 1:5000

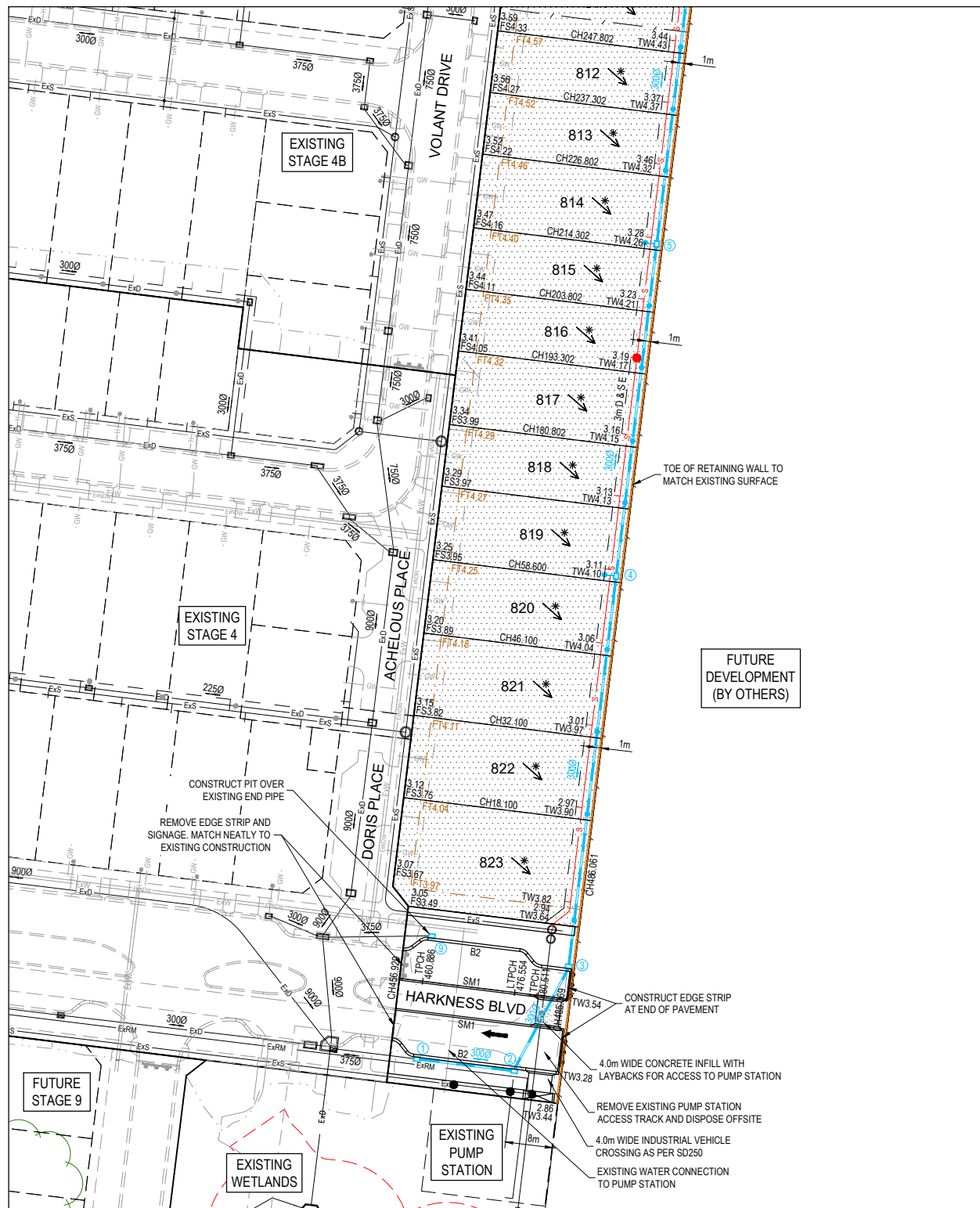


Drawing No.  
**0352-08A-R01**

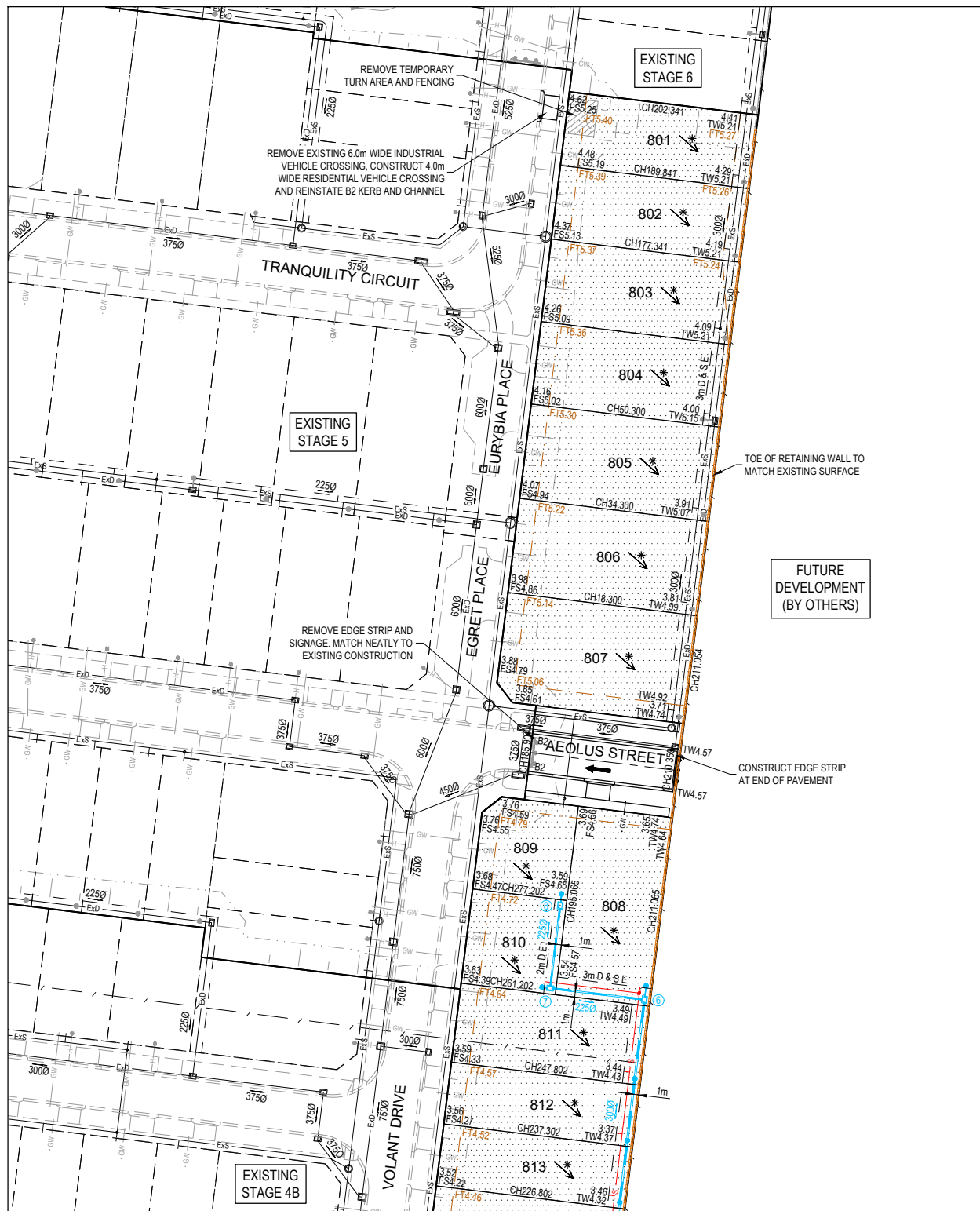
Sheet  
01 of 11

Rev  
**2**

FOR CONTINUATION REFER BELOW RIGHT



FOR CONTINUATION REFER ABOVE LEFT



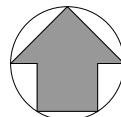
SERVICES OFFSET SCHEDULE

STREET NAME	ROAD RESERVE	BACK OF KERB	SEWER	SEWER RISING MAIN	GAS	NON DRINKING WATER	DRINKING WATER	COMMUNICATIONS	ELECTRICITY	LIGHT POLES
ACHELOUS PLACE	12.00	3.50 W / 4.50 E	Ex 1.00 E	-	Ex 2.10 E	Ex 2.60 E	Ex 3.10 E	Ex 1.85 W	Ex 2.60 W	-
AEOLUS STREET	16.00	4.35	Ex 1.00 S	-	2.10 S	2.60 S	3.10 S	1.85 N	2.60 N	3.45 N
DORIS PLACE	12.00	3.50 W / 4.50 E	Ex 1.00 E	-	Ex 2.10 E	Ex 2.60 E	Ex 3.10 E	Ex 1.65 W	Ex 2.60 W	-
EGRET PLACE	12.00	3.50 W / 4.50 E	Ex 1.00 E	-	Ex 2.10 E	Ex 2.60 E	Ex 3.10 E	Ex 1.85 W	Ex 2.60 W	-
EURYBIA PLACE	12.00	3.50 W / 4.50 E	Ex 1.00 E	-	Ex 2.10 E	Ex 2.60 E	Ex 3.10 E	Ex 1.85 W	Ex 2.60 W	-
HARKNESS BOULEVARD	30.00	4.85	Ex 1.00 N & S	Ex 3.60 S	2.10 N	2.60 N	3.10 N	1.80 S	2.60 S	3.95 S
TRANQUILITY CIRCUIT	16.00	4.35	Ex 1.00 W & E	-	Ex 2.10 E	Ex 2.60 E	Ex 3.10 E	Ex 1.85 W	Ex 2.60 W	Ex 3.45 W
VOLANT DRIVE	16.00	4.35	Ex 1.00 W & E	-	Ex 2.10 E	Ex 2.60 E	Ex 3.10 E	Ex 1.85 W	Ex 2.45 W	Ex 3.45 W

WARNING

**BEWARE OF UNDERGROUND SERVICES**  
The locations of underground services are approximate only and their exact position should be proven on site.  
No guarantee is given that all existing services are shown.  
Locate all underground services before commencement of works.  
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www.1100.com.au

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	27/03/22	Existing Drainage — H — Ex D — Drainage — H — Ex D — Existing Surface Level at Title 135.12
B	Laybacks added to concrete infill	GP/DP	MG	26/05/22	Existing Sewer — Ex S — Main Drainage — H — Ex D — Finished Surface Level at Title FS135.12
1	Approved for construction	GP/DP	MG	03/06/22	Existing Gas — Ex G — Level at Top/Toe of Batter/Ridge FT135.12
2	As constructed	GP	MG	17/03/23	Existing Electricity UG — Ex E — Swale Drain — Centreline Chainage CH50.370
					Existing Electricity OH — Ex E — Gas & Water Conduits — GW — Sleeper Retaining Wall
					Existing Communications — Ex T — Direction of Lot Fall — Rock Retaining Wall
					Existing Drinking Water — Ex DW — Direction of Overland Flow — PSM / TBM
					Existing Non Drinking Water — Ex NDW — Allotment to be Evenly Graded — Structural Fill > 200mm
					Existing Swale Drain — Vehicle Crossings — Concrete Infill



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Council City of Greater Geelong  
Project **Harriott at Armstrong Creek Stage 8A**  
Title Layout Plan  
Designed: G.Pratt  
Drafted: D.Pratt  
Authorised: M.Graham  
Date: March 2022

Scale @ A1: 1:500  
0 5 10 15 20 25  
Drawing No. **0352-08A-R02**  
Sheet 02 of 11  
Rev **2**





**NOTES: RETAINING WALL**

1. REFER TO STRUCTURAL PLANS FOR DETAILS OF RETAINING WALLS.
2. A BUILDING PERMIT IS TO BE PROVIDED TO THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
3. CERTIFICATION FROM A QUALIFIED STRUCTURAL ENGINEER IS REQUIRED POST CONSTRUCTION.
4. PIERS TO ALIGN WITH TITLE BOUNDARIES ALONG HIGH SIDE OF WALL.

**NOTES: WALL SUBSOIL DRAIN**

1. NO SUBSOIL DRAINS ARE TO CROSS A TITLE BOUNDARY.
2. HIGH SIDE LOTS ARE TO CONNECT TO THE PROPERTY INLET IN THE LOW CORNER.
3. LOW SIDE LOTS ARE TO CONNECT TO THE HOUSE DRAIN AT THE FRONT.

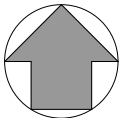
**NOTES: SEWERS**

1. REFER TO STANDARD DRAWING MRWA-S-209 FOR REQUIREMENTS OF SEWERS IN THE VICINITY OF RETAINING WALLS.
2. PIERS ARE TO BE LOCATED SO THE SEWER CROSSING OF THE WALL IS CENTRALLY BETWEEN PIERS WITH A MINIMUM 0.4m CLEARANCE.

**WARNING**  
**BEWARE OF UNDERGROUND SERVICES**  
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Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	27/03/22	Drain & Property Inlet
1	Approved for construction	GP/DP	MG	03/06/22	House Drain
2	As constructed	GP	MG	17/03/23	Sewer
					Swale Drain
					Existing Drain
					Existing House Drain
					Existing Sewer
					Existing Swale Drain
					Vehicle Crossings

Existing Surface Level at Title	47.01	Sleeper Retaining Wall
Finished Surface at Title	FS47.01	Rock Retaining Wall
Level at Top/Toe of Batter/Ridge	FT47.01	Direction of Lot Fall
Top of Wall Level	TW47.01	Allotment to be Evenly Graded
Bottom of Wall Level	BW47.01	
Design Contours	47.01	
Existing Contours	47.01	
Batter		
Ridge		



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Council City of Greater Geelong  
Project **Harriott at Armstrong Creek Stage 8A**  
Title Allotment Benching Plan  
Designed: G.Pratt  
Drafted: D.Pratt  
Authorised: M.Graham  
Date: March 2022

Scale @ A1: 1:500  
0 5 10 15 20 25  
Drawing No. **0352-08A-R03**  
Sheet 03 of 11  
Rev **2**

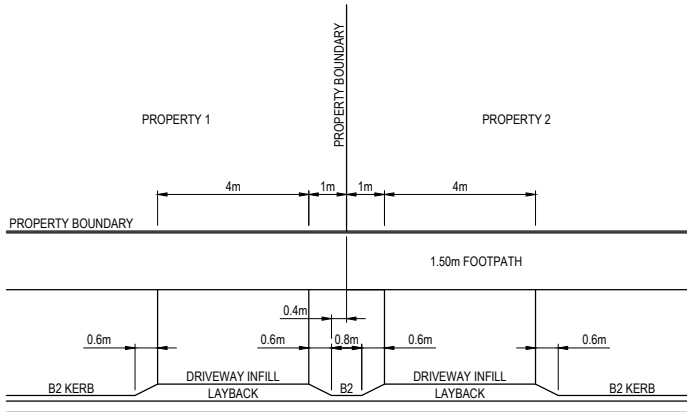
PAVEMENT COMPOSITIONS

AEOLUS STREET		
PAVEMENT LAYER	LAYER THICKNESS (mm)	MATERIAL
WEARING COURSE ASPHALT	30	SIZE 10 TYPE N ASPHALT (CLASS 170 BINDER)
		PRIME COAT
BASE	160	SIZE 20 CLASS 2 FINE CRUSHED ROCK (COMPACTED TO 99% MODIFIED)
SUBBASE	120	SIZE 20 CLASS 3 FINE CRUSHED ROCK (COMPACTED TO 98% MODIFIED)
CAPPING LAYER	200	TYPE A CAPPING MATERIAL OR APPROVED EQUIVALENT (REFER NOTES)
TOTAL DEPTH	510	SUBGRADE IMPROVEMENT AS DIRECTED BY THE SUPERINTENDENT (CBR≥2%)

HARKNESS BOULEVARD		
WEARING COURSE ASPHALT	30	SIZE 10 TYPE HP ASPHALT (CLASS A10E BINDER)
		PRIME COAT
BASE	160	SIZE 20 CLASS 2 FINE CRUSHED ROCK (COMPACTED TO 99% MODIFIED)
SUBBASE	290	SIZE 20 CLASS 3 FINE CRUSHED ROCK (COMPACTED TO 98% MODIFIED)
CAPPING LAYER	220	TYPE A CAPPING MATERIAL OR APPROVED EQUIVALENT (REFER NOTES)
TOTAL DEPTH	700	SUBGRADE IMPROVEMENT AS DIRECTED BY THE SUPERINTENDENT (CBR≥2%)

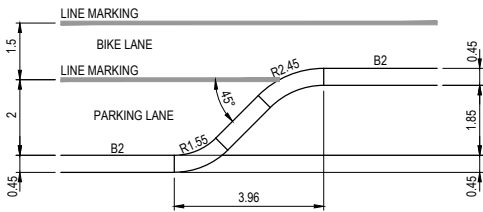
CONCRETE INFILL		
CONCRETE	150	32MPa CONCRETE WITH SL82 MESH CENTRALLY AND EXPOSED AGGREGATE FINISH
BASE	100	SIZE 20 CLASS 3 FINE CRUSHED ROCK (COMPACTED TO 97% MODIFIED)
TOTAL DEPTH	250	

- NOTES:
- REFER TO DOUGLAS PARTNERS GEOTECHNICAL REPORT (REFERENCE 87044.02 FOR ADDITIONAL DETAILS ON PAVEMENT CONSTRUCTION.
  - CAPPING LAYER MATERIAL TO COMPLY WITH THE FOLLOWING:
    - CBR ≥ 8%
    - SWELL ≤ 1.0
    - PERMEABILITY  $K \leq 5 \times 10^{-11} \text{m/s}$
    - COMPACTED TO A MINIMUM DENSITY RATIO OF 98% AS PER AS1289.
  - CONCRETE INFILL TO HAVE 0.8m LONG R200 DOWELL BARS AT 0.6m CENTRES TO ADJACENT KERB.

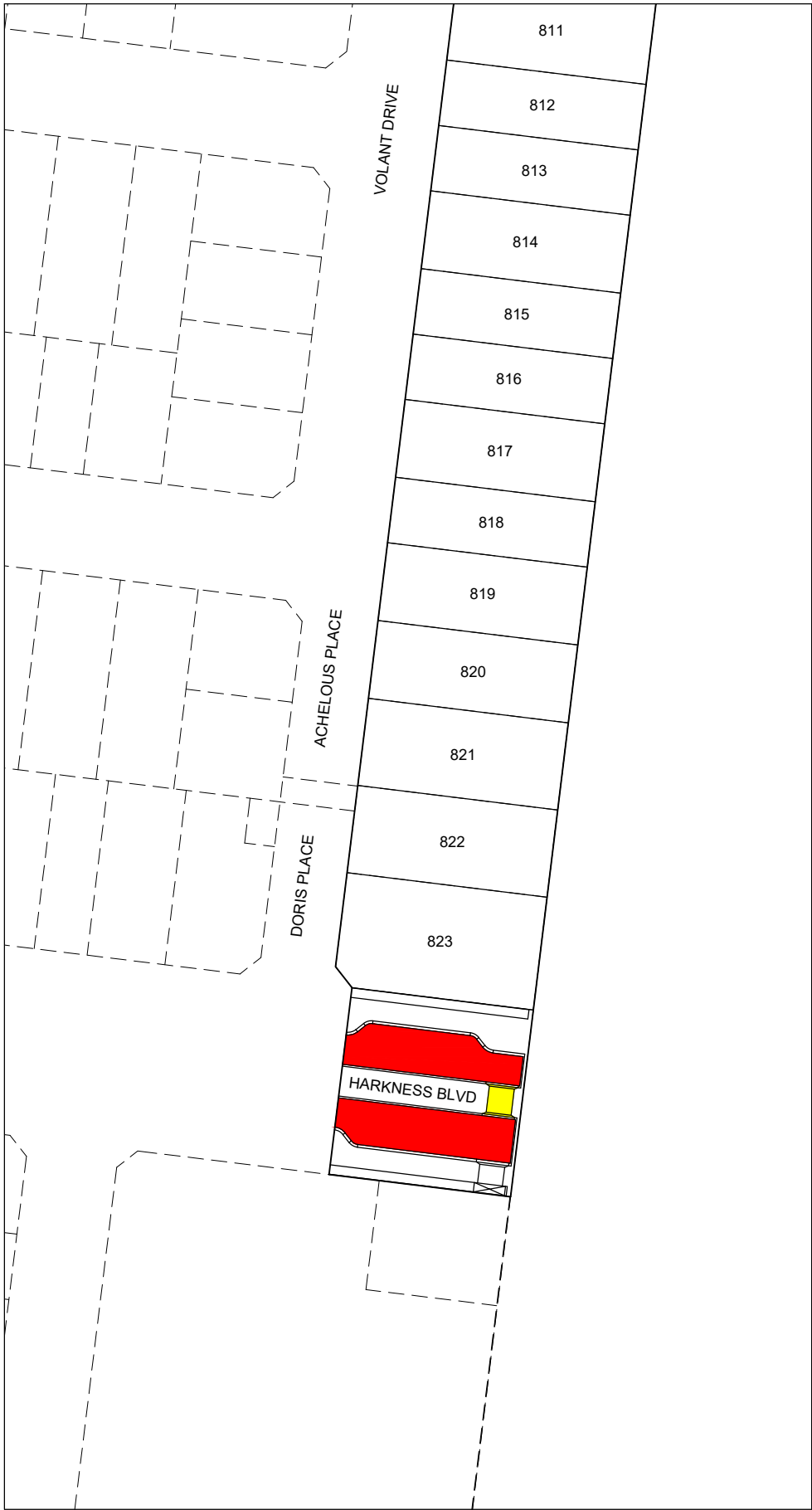


STANDARD VEHICLE CROSSING DETAIL  
NOT TO SCALE

- NOTE: VEHICLE CROSSINGS
- STANDARD VEHICLE CROSSINGS ARE TO BE CONSTRUCTED AS PER THE ABOVE DETAIL.
  - NON STANDARD VEHICLE CROSSING WIDTH AND OFFSET ARE SHOWN ON THE LAYOUT PLAN.
  - COMPOSITION TO CONSIST OF 125mm DEPTH OF 32MPa CONCRETE WITH SL72 MESH CENTRALLY ON A 100mm DEPTH 20mm CLASS 3 FINE CRUSHED ROCK BASE (COMPACTED TO 97% MODIFIED).



PARKING BAY TRANSITION DETAIL  
NOT TO SCALE



Rev	Amendment	Des/Dft	App'd	Date
A	Initial Issue	GP/DP	MG	27/03/22
B	Laybacks added to concrete infill	GP/DP	MR	26/05/22
1	Approved for construction	GP/DP	MG	03/06/22
2	As constructed	GP	MG	17/03/23

Principal

**HARRIOTT**  
AT ARMSTRONG CREEK

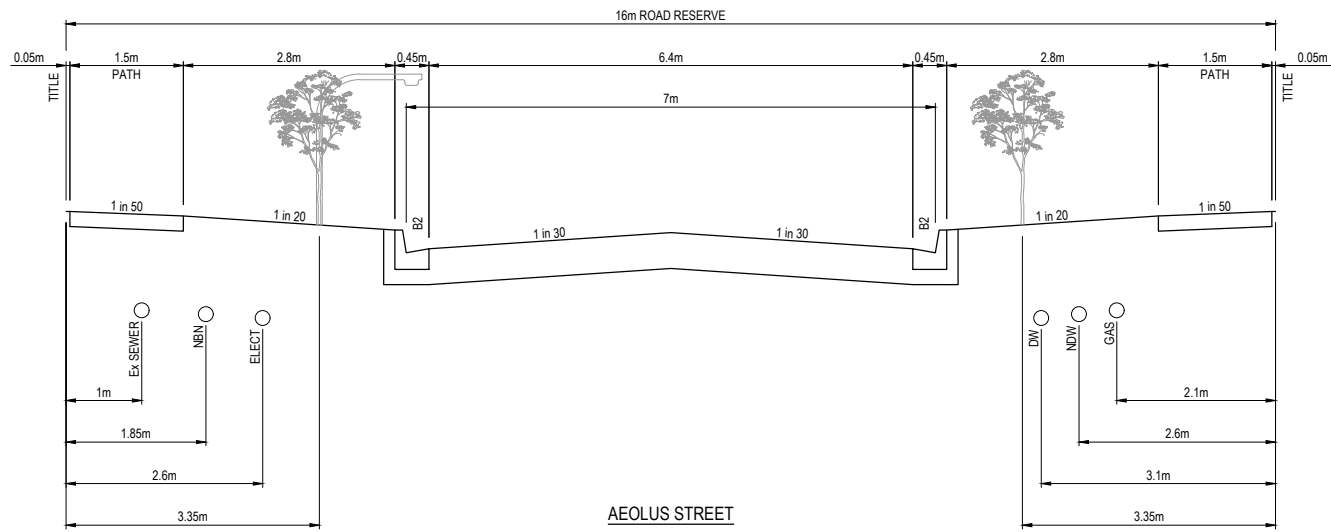
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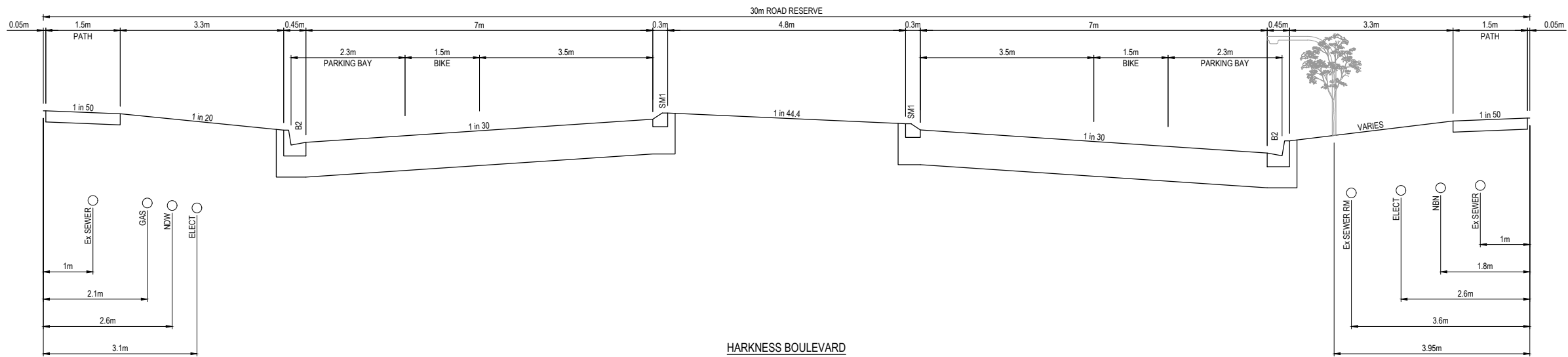
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Council	City of Greater Geelong
Project	Harriott at Armstrong Creek Stage 8A
Title	Pavement Compositions & Details
Designed:	G.Pratt
Drafted:	D.Pratt
Authorised:	M.Graham
Date:	March 2022

Scale @ A1:	1:500
Drawing No.	0352-08A-R04
Sheet	04 of 11
Rev	2



AEOLUS STREET



HARKNESS BOULEVARD

Rev	Amendment	Des/Dft	App'd	Date
A	Initial Issue	GP/DP	MG	27/03/22
1	Approved for construction	GP/DP	MG	03/06/22
2	As constructed	GP	MG	17/03/23

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Council	City of Greater Geelong
Project	Harriott at Armstrong Creek Stage 8A
Title	Typical Sections
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: March 2022

Scale @ A1: H1:50 V1:25	
	
Drawing No.	
<b>0352-08A-R05</b>	
Sheet	Rev
05 of 11	<b>2</b>



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	27/03/22	Existing Surface — — — —
1	Approved for construction	GP/DP	MG	03/06/22	Design Line —————
2	As constructed	GP	MG	17/03/23	Existing Design Line — — — —
					Future Design Line ——— · ———
					Left Back of Kerb ——— - ———
					Right Back of Kerb ——— · ———

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Council City of Greater Geelong

Project **Harriott at Armstrong Creek**  
**Stage 8A**

Title	
Longitudinal Sections	

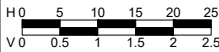
Designed: G.Pratt

Authorised: M.Graham

Drafted: D.Pratt

Date: March 2022

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Drawing No.

**0352-08A-R06**

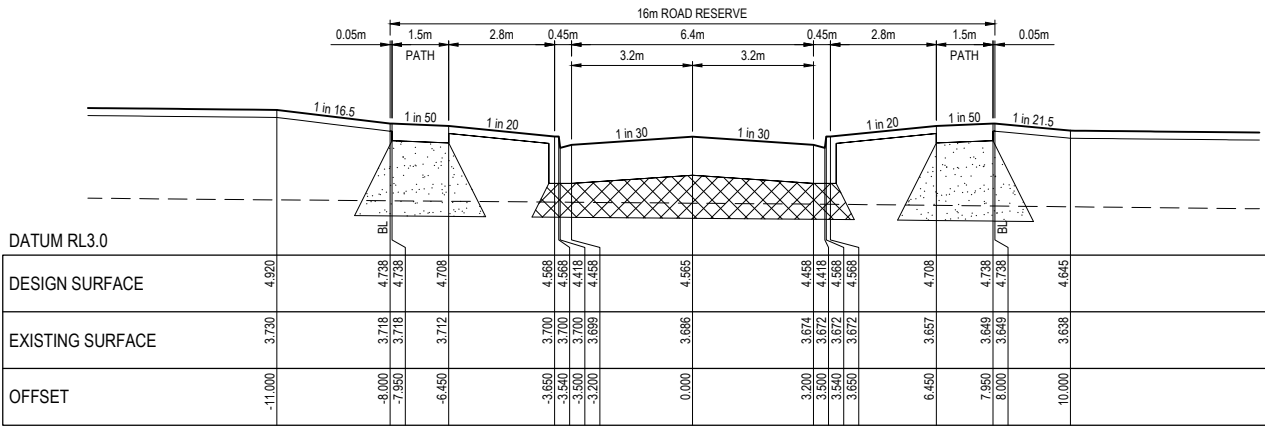
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06 of 11

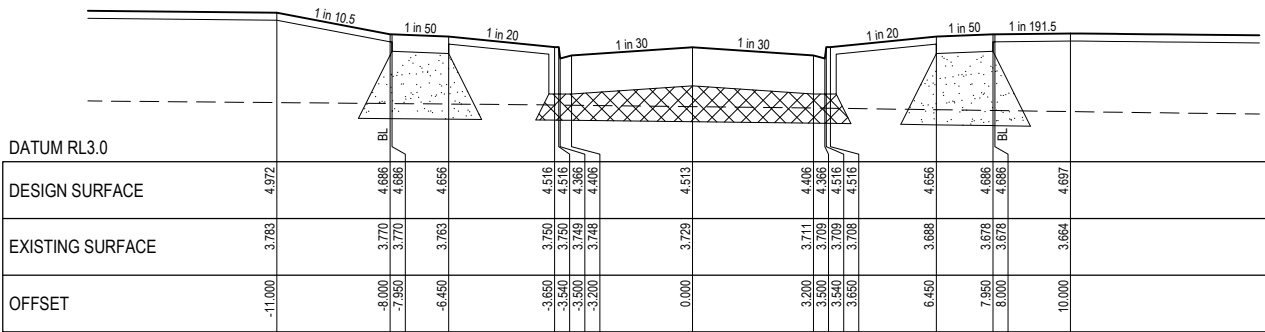
Rev

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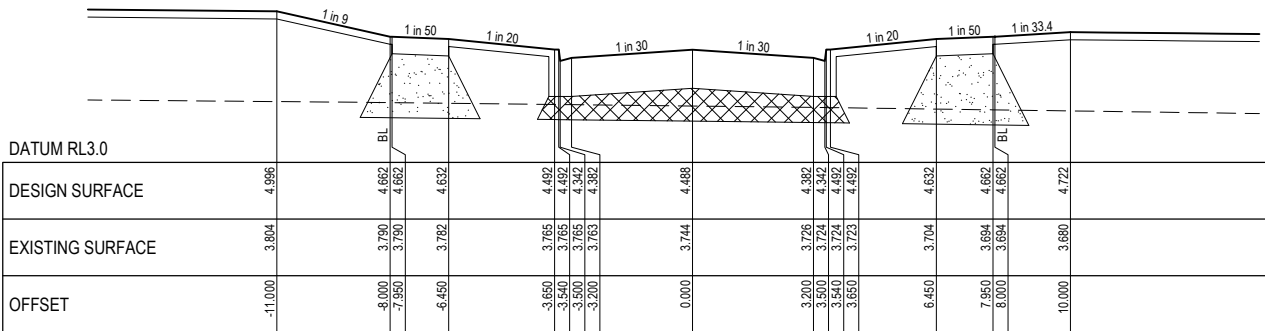
NOTE:  
1. WHERE ROAD PAVEMENTS ARE ABOVE THE STRIPPED SURFACE IT IS TO BE FILLED WITH SELECT MATERIAL EXTENDING 0.2m BELOW NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.  
2. WHERE PATHS ARE ABOVE STRIPPED SURFACE IT IS TO BE FILLED WITH 20mm CLASS 3 CRUSHED ROCK EXTENDING 0.2m BELOW NATURAL SURFACE.



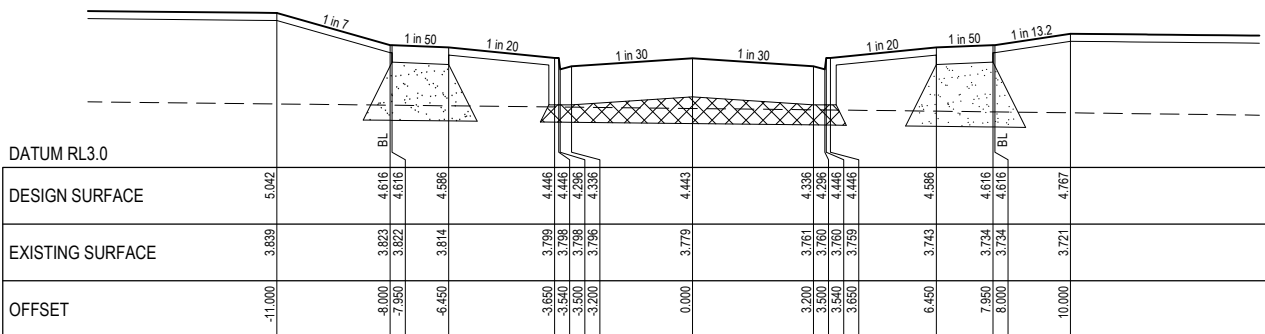
CH 210.359



CH 200.000



CH 195.065



CH 185.904

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	27/03/22	Existing Surface
1	Approved for construction	GP/DP	MG	03/06/22	Design Line
2	As constructed	GP	MG	17/03/23	Future Surface
					Select Fill
					Crushed Rock

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Melbourne Vic 3000

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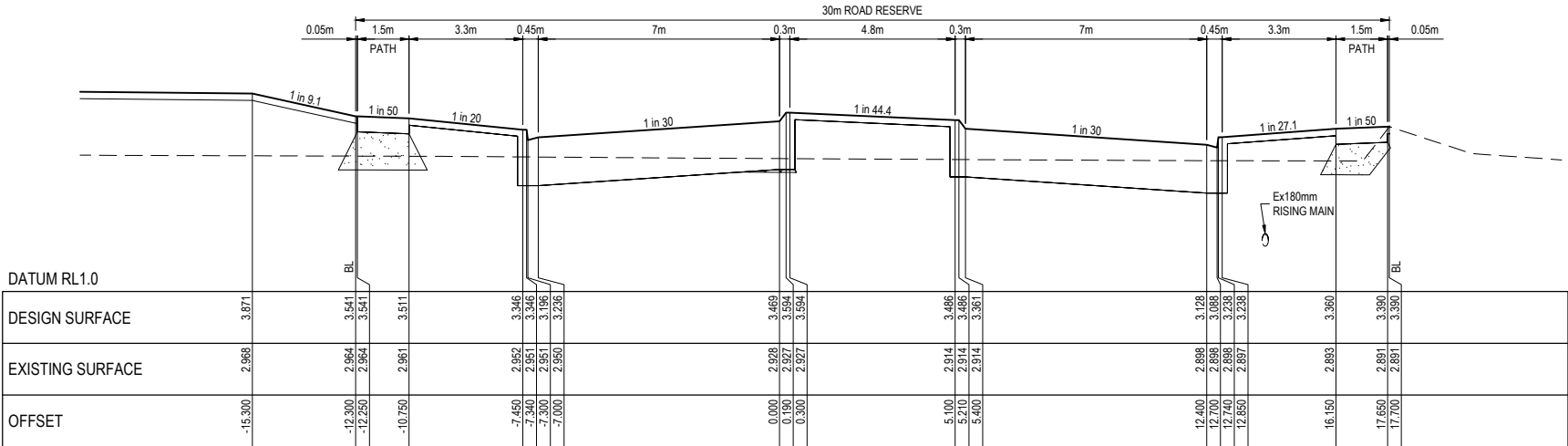
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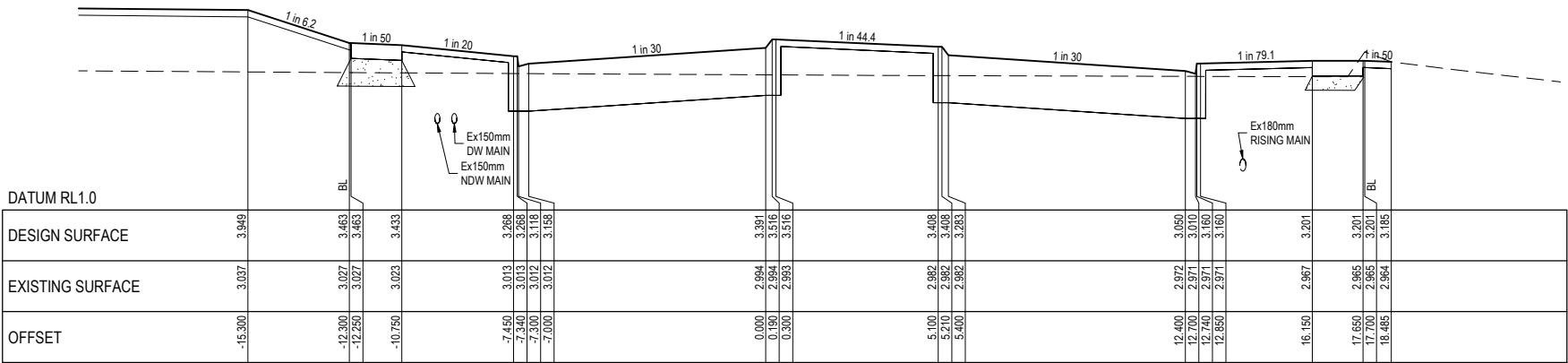
Council	City of Greater Geelong	Scale @ A1:	H1:100 V1:50
Project	Harriott at Armstrong Creek Stage 8A	H0	1 2 3 4 5 V0 0.5 1 1.5 2 2.5
Title	Cross Sections Aeolus Street	Drawing No.	0352-08A-R07
Designed: G.Pratt	Authorised: M.Graham	Sheet	07 of 11
Drafted: D.Pratt	Date: March 2022	Rev	2



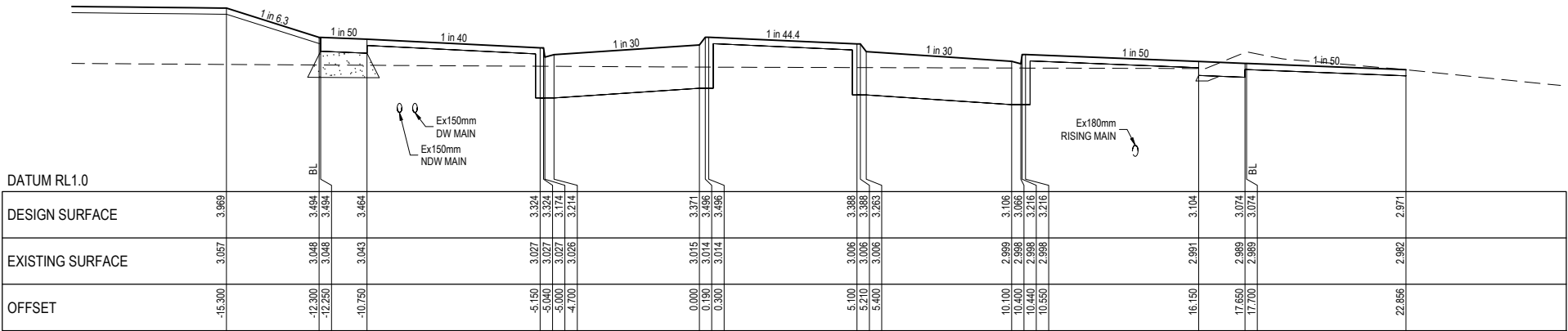
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1. WHERE ROAD PAVEMENTS ARE ABOVE THE STRIPPED SURFACE IT IS TO BE FILLED WITH SELECT MATERIAL EXTENDING 0.2m BELOW NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEELONG REQUIREMENTS.
  2. WHERE PATHS ARE ABOVE STRIPPED SURFACE IT IS TO BE FILLED WITH 20mm CLASS 3 CRUSHED ROCK EXTENDING 0.2m BELOW NATURAL SURFACE.
  3. TRANSITION RIGHT NATURE STRIP CROSSFALL FROM -1 in 50 TO 1 in 27.1 BETWEEN CH456.929 AND CH464.981.
  4. TRANSITION RIGHT PATH CROSSFALL FROM -1 in 50 TO 1 in 50 BETWEEN CH456.929 AND CH464.981.



LTPCH 476.554



TPCH 460.886



CH 456.929

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	27/03/22	Existing Surface
1	Approved for construction	GP/DP	MG	03/06/22	Design Line
2	As constructed	GP	MG	17/03/23	Future Surface
					Select Fill
					Crushed Rock

Principal

**HARRIOTT**  
AT ARMSTRONG CREEK

Jinding Australia  
Level 53, 525 Collins Street  
Melbourne Vic 3000

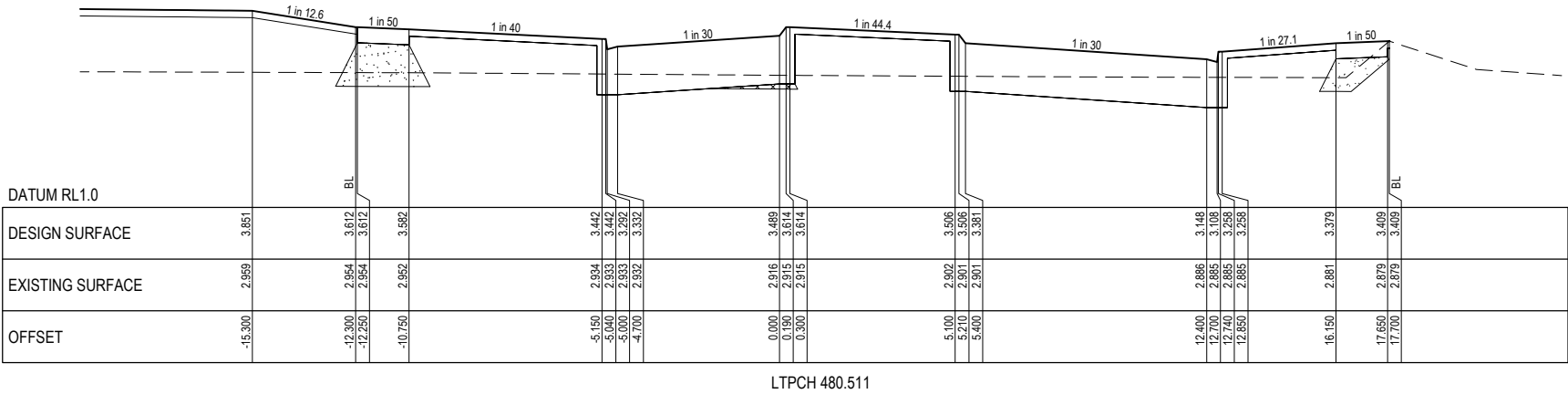
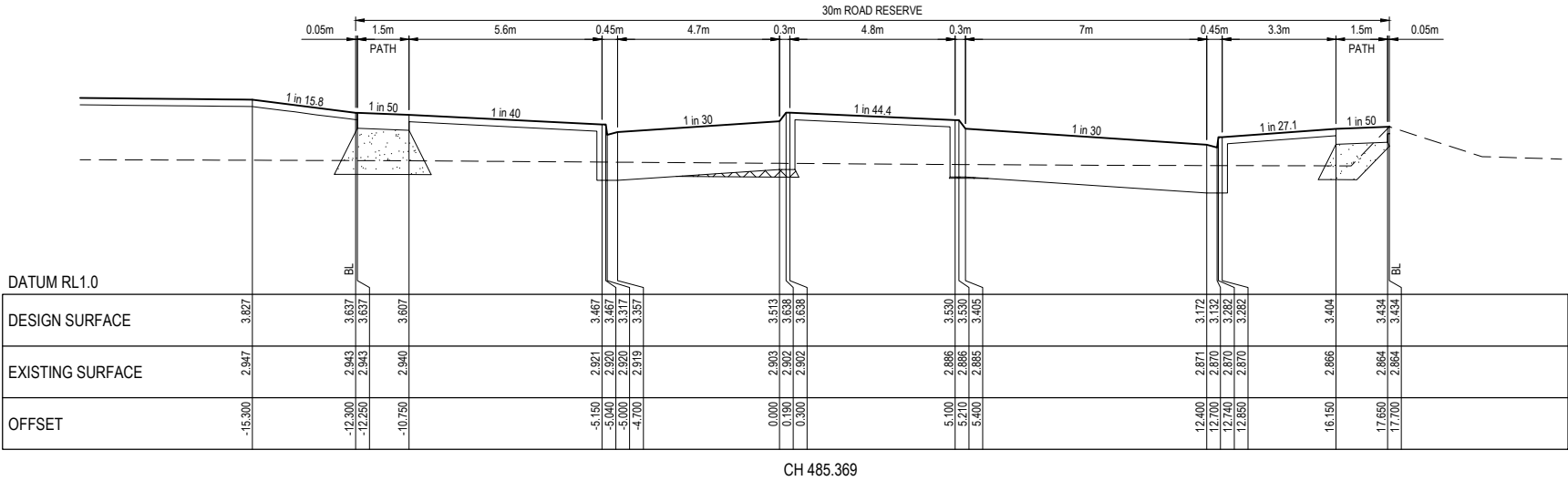
**GPR Consulting**

GPR Consulting Pty Ltd  
ABN 98 140 136 205  
Suite 217, 202 Jells Road  
Wheeler Hill Vic 3150  
Telephone 0456 634 727  
© GPR Consulting Pty Ltd

Council	City of Greater Geelong	Scale @ A1:	H1:100 V1:50
Project	Harriott at Armstrong Creek Stage 8A	H0	1 2 3 4 5 V0 0.5 1 1.5 2 2.5
Title	Cross Sections Harkness Boulevard - Sheet 1 of 2	Drawing No.	0352-08A-R08
Designed: G.Pratt	Authorised: M.Graham	Sheet	08 of 11
Drafted: D.Pratt	Date: March 2022	Rev	2



- NOTE:**
1. WHERE ROAD PAVEMENTS ARE ABOVE THE STRIPPED SURFACE IT IS TO BE FILLED WITH SELECT MATERIAL EXTENDING 0.2m BELOW NATURAL SURFACE. SELECT FILL TO MEET CITY OF GREATER GEORGE TOWN REQUIREMENTS.
  2. WHERE PATHS ARE ABOVE STRIPPED SURFACE IT IS TO BE FILLED WITH 20mm CLASS 3 CRUSHED ROCK EXTENDING 0.2m BELOW NATURAL SURFACE.



Rev	Amendment	Des/D't	App'd	Date	Legend	<div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> <div><div></div><div></div></div> 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FOR CONTINUATION REFER BELOW RIGHT



FUTURE  
DEVELOPMENT  
(BY OTHERS)

FOR CONTINUATION REFER ABOVE LEFT

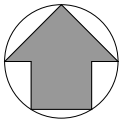


FUTURE  
DEVELOPMENT  
(BY OTHERS)

SIGN SCHEDULE		
SIGN	REF	QUANTITY
<div>ROAD CLOSED</div> <div>G9-20 &amp; D4-5</div>	1	3

**WARNING**  
**BEWARE OF UNDERGROUND SERVICES**  
The locations of underground services are approximate only and their exact position should be proven on site.  
No guarantee is given that all existing services are shown. Locate all underground services before commencement of works.  
**DIAL 1100 BEFORE YOU DIG**  
www.1100.com.au

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	27/03/22	Street Sign
1	Approved for construction	GP/DP	MG	03/06/22	Sign
2	As constructed	GP	MG	17/03/23	RRPM



Principal

**HARRIOTT**  
AT ARMSTRONG CREEK

Jinding Australia  
Level 53, 525 Collins Street  
Melbourne Vic 3000

**GPR Consulting**

GPR Consulting Pty Ltd  
ABN 98 140 136 205  
Suite 217, 202 Jells Road  
Wheeters Hill Vic 3150  
Telephone 0456 634 727  
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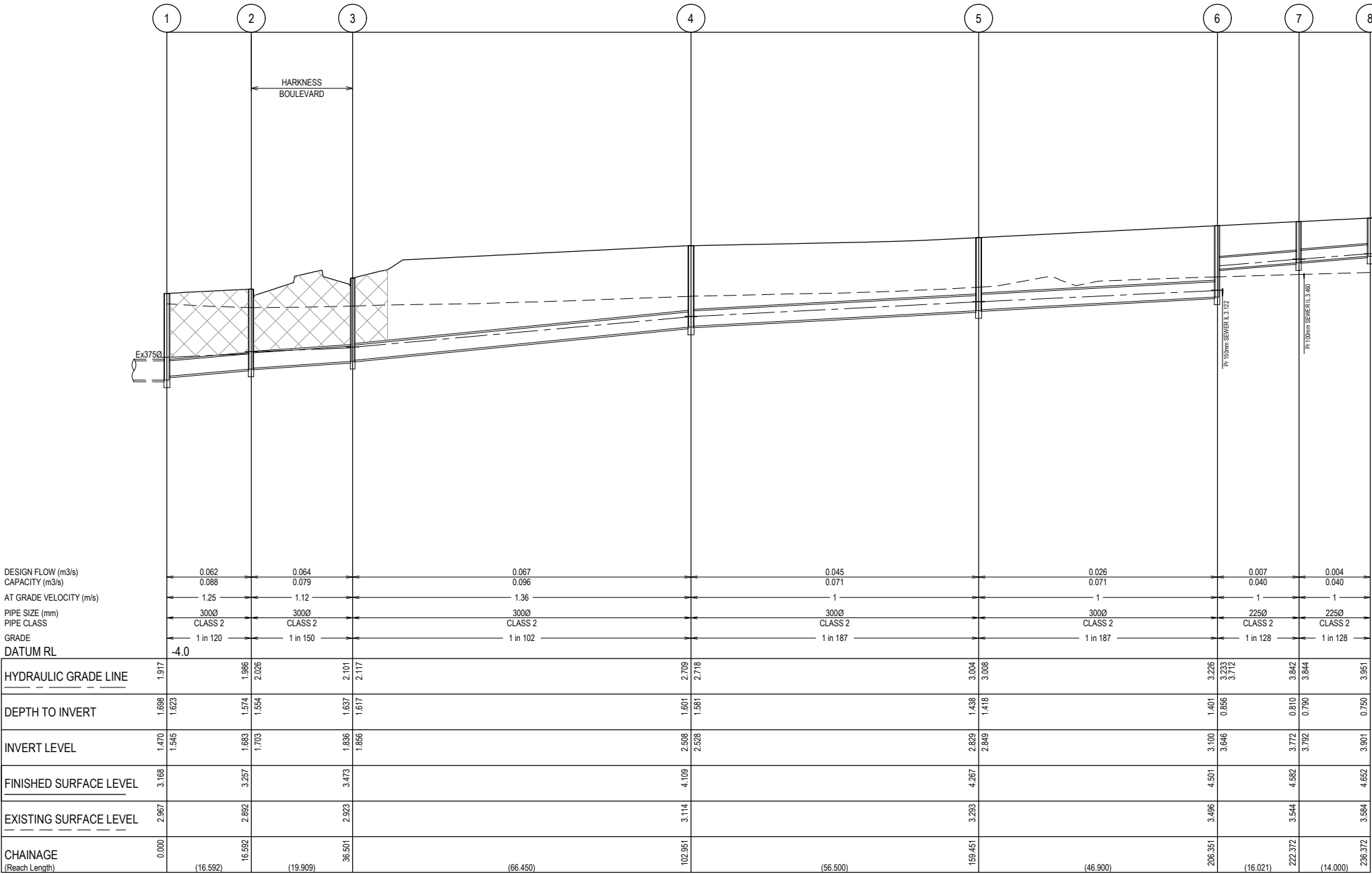
Council City of Greater Geelong	
Project <b>Harriott at Armstrong Creek Stage 8A</b>	
Title Functional Design Signage & Linemarking Plan	
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: November 2021

Scale @ A1: 1:500 	
Drawing No. <b>0352-08A-R10</b>	
Sheet 10 of 11	Rev <b>2</b>

NOTE: STORMWATER PIPES

1. ALL STORMWATER PIPES ARE TO BE CLASS 2 WITH RUBBER RINGED JOINTS UNLESS NOTED OTHERWISE.
2. STORMWATER PIPES UNDER ROAD PAVEMENTS, DRIVEWAYS, FOOTPATHS, PARKING BAYS AND BEHIND KERB AND CHANNEL TO BE BACKFILLED WITH 20MM CLASS 3 FINE CRUSHED ROCK (WETMIX) COMPACTED TO 98% MODIFIED IN MAXIMUM 150MM LAYERS.
3. STORMWATER PIPES UNDER ROADS ARE TO HAVE 2% STABILISED SAND EMBEDMENT TO SPRINGLINE.

PIT SCHEDULE													
PIT No.	TYPE	LOCATION		INTERNAL		INLET		OUTLET		COVER LEVEL	PIT DEPTH	STD DWG	REMARKS
		EASTING	NORTHING	WIDTH	LENGTH	DIA.	INV R.L.	DIA.	INV R.L.				
1	SIDE ENTRY PIT	270500.955	5765408.957	600	900	300	1.545	375	1.470	3.168	1.698	SD 430	CONSTRUCT PIT OVER EXISTING END PIPE
2	JUNCTION PIT	270517.424	5765406.938	600	900	300	1.703	300	1.683	3.257	1.574	SD 420	
3	JUNCTION PIT	270526.623	5765424.549	600	900	300	1.856	300	1.836	3.473	1.637	SD 420	
4	JUNCTION PIT	270534.666	5765490.511	600	900	300	2.528	300	2.508	4.109	1.601	SD 425	
5	JUNCTION PIT	270541.504	5765546.595	600	900	300	2.849	300	2.829	4.267	1.438	SD 425	
6	JUNCTION PIT	270547.181	5765593.150	600	900	225	3.646	300	3.100	4.501	1.401	SD 425	
7	JUNCTION PIT	270531.279	5765595.100	600	900	225	3.792	225	3.772	4.582	0.810	SD 425	
8	JUNCTION PIT	270532.983	5765608.996	600	900			225	3.901	4.652	0.750	SD 425	
9	SIDE ENTRY PIT	570503.499	5765429.702	600	900			375	1.676	3.286	1.610	SD 430	CONSTRUCT PIT OVER EXISTING END PIPE



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	27/03/22	Existing Surface — — — —
B	Drain 6 to 8 amended	GP/DP	MG	26/05/22	Design Surface — — — —
1	Approved for construction	GP/DP	MG	03/06/22	Future Design Surface — — — —
2	As constructed	GP	MG	17/03/23	Existing Drain — — — —
					Proposed Drain — — — —
					Hydraulic Grade Line — — — —
					Retaining Wall — — — —
					Crushed Rock Backfill — — — —
					Rock Beaching — — — —

Principal



Jinding Australia  
Level 53, 525 Collins Street  
Melbourne Vic 3000



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ABN 98 140 136 205  
Suite 217, 202 Jells Road  
Wheeler Hill Vic 3150  
Telephone 0456 634 727

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Council City of Greater Geelong

Project **Harriott at Armstrong Creek  
Stage 8A**

Title **Drainage Longitudinal Sections  
& Pit Schedule**

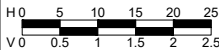
Designed: G.Pratt

Authorised: M.Graham

Drafted: D.Pratt

Date: March 2022

Scale @ A1: H1:500 V1:50



Drawing No.  
**0352-08A-R11**

Sheet  
11 of 11

Rev  
**2**