



HARRIOTT

AT ARMSTRONG CREEK

# Design Guidelines



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These Design Guidelines have been prepared to assist Harriott purchasers and their builders/designers to construct well designed, high quality homes to create a premium community that is consistent in its vision and welcoming to its residents.



1. VISION

A great design will help you add value to your home, increase sustainability, improve your quality of life and foster a high standard of presentation for Harriott. These guidelines are not intended to limit design but help ensure that Harriott presents with harmonious streetscapes and creating a community that all residents can be proud of.

The key design elements that purchasers and home builders should address include:

- Siting and orientation
- Architectural style and built form
- Fencing and landscaping
- Sustainability

2. PROCESS

All new buildings and landscape designs must be approved by the Design Assessment Panel (DAP) prior to lodging for any Building Permit or commencing any work on site.

The following steps outline the design approval process at Harriott.

STEP 1 – PURCHASE YOUR LAND

Once you’ve purchased your preferred lot from Jinding, you can view all the relevant documentation you and your builder will need to build your new home via the Harriott Buyers Portal.

STEP 2 – DESIGN YOUR HOME

Your builder will work with you to design your home to comply with the Harriott Design Guidelines. Your architect, builder and/or designer will also need to take into consideration details on the Building Envelope Plan or Plan of Subdivision. You should also ensure that you have complied with any applicable building codes, council by-laws and other local authority requirements.

STEP 3 – SUBMIT YOUR PLANS FOR APPROVAL

When you are ready to make your submission to the DAP, you can lodge your house plans, colour schedules and landscape plans via the Harriott Buyers Portal <https://portal.harriottarmstrongcreek.com.au>. Ensure your submission is in pdf form and contains all the required information detailed in the checklist (page 12). Generally, your design will be reviewed within 10 working days of your initial submission provided that all documents are submitted correctly.

In some cases, plans may need to be resubmitted. Specific feedback on your design will be will be provided to help facilitate approval if this occurs. Should a resubmission be required, please ensure that any alterations are highlighted for ease of processing.

Once your design is assessed and approved, you and your builder will be issued with stamped, approved set of plans.

STEP 4 – BUILDING PERMIT APPLICATION BY YOUR BUILDER

Once you’ve received your design approval, a building permit must be obtained from either the City of Geelong or a licensed building surveyor. Your registered building surveyor will require your home design to comply with any legal or statutory requirements on the Plan of Subdivision and will require evidence of your DAP approval to process. If any further design modifications are made, you will be required to resubmit plans to the DAP for reassessment.

STEP 5 – CONSTRUCTION

Once received, a Building Permit allows you to commence construction. In accordance with the Contract of Sale, construction of your home must commence within 6 months of settlement of your lot. Completion of your home including garage, driveway, fencing and retaining walls should occur within 12 months of build commencement.

STEP 6 - CERTIFICATE OF OCCUPANCY

Certificate of Occupancy certifies that a home can be lived in. Your builder will typically look after this on your behalf. After receiving the Certificate of Occupancy, all front gardens must be landscaped in accordance with these guidelines within 6 months. Fencing must also be constructed within 3 months.

A note for your builders, is that all kerb and sidewalk rectification works must be completed within 3 months of receiving your Certificate of Occupancy. Your driveway and crossover must be completed before you move into your new home. We want to ensure that the streetscapes at Harriott are well maintained for all residents to enjoy.

STEP 7- HARRIOTT LANDSCAPING PACKAGE

As part of Jinding’s vision to make Harriott a beautiful and sustainable community, we’re offering a FREE landscaping package\* on select lots to help you create your own sanctuary. Please refer to the Harriott Buyers Portal for details on the landscaping package. To check your eligibility please refer to your contract of sale.

SMALL LOT HOUSING CODE

Harriott is home to a diverse range of lot sizes, some of which are subject to the requirements of the City of Greater Geelong’s Small Lot Housing Code (SLHC). SLHC applies to single dwellings with an area less than 300sqm. The Harriott Design Guidelines are to be applied in conjunction with the SLHC. The DAP will not assess proposals against requirements of the SLHC.

DEVELOPER APPROVAL

Homes must be approved by the Design Assessment Panel (DAP) prior to lodging for any building permit or commencing any construction works. The DAP is appointed by Jinding to oversee and implement the objectives of the Design Guidelines.

The Design Guidelines may be changed from time to time at the DAP’s discretion. Applications will be assessed against the current version of the Design Guidelines.

Interpretation and application of these Design Guidelines is at the sole discretion of the DAP. The DAP’s decisions are final. No claims shall be made to the Developer, DAP or their representatives with respect to the decisions made.

The DAP reserves the right to vary or waive the requirements of the Design Guidelines if it believes that a proposal (or an element of a proposal) that is not strictly in accordance with the wording of the Design Guidelines nonetheless makes a positive contribution to the overall objectives of the built form and/or streetscape at Harriott.

Allowance has been made for two submissions for each Design Approval application. Each additional submission may incur an administration fee, at the sole discretion of the DAP. New submissions for a lot that has already had an application approved may also incur an administration fee.

3. HOME STYLE GUIDE

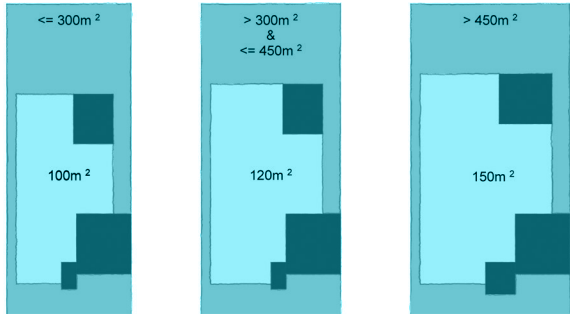
Homes at Harriott are best described as contemporary in style. This will be achieved through simple forms and well-proportioned façade elements combined with the controlled use of architectural styles, materials and colours selected to reflect the home location.

Period styles such as Edwardian and Georgian style, and period detailing such as quoins, fretwork, lace work etc. are not generally permitted. There is however scope for the use of these or similar elements as part of a contemporary design. These will be assessed at the discretion of the DAP.

4. LOT PLANNING  
(OR SITING THE HOME)

4.1 LOT LAYOUT

- A. Only one dwelling is permitted per lot, unless otherwise provided on the relevant Plan of Subdivision.
- B. To site each home, Building Envelope Plans have been prepared for all lots at Harriott where the Small Lot Housing Code is not applied. The dwelling and garage should be contained within the building envelope.
- C. The dwelling size, must comply with the following minimum dwelling size, excluding garage and all unenclosed areas, unless otherwise approved by the DAP.

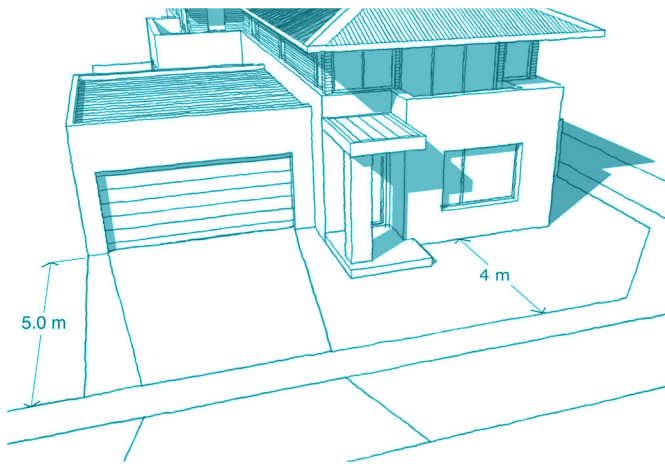


LOT SIZE	MIN. DWELLING SIZE
Less than (or equal to) 300m <sup>2</sup>	100m <sup>2</sup>
More than (or equal to) 300m <sup>2</sup> & less than 450m <sup>2</sup>	120m <sup>2</sup>
More than 450m <sup>2</sup>	150m <sup>2</sup>

- D. Homes must have at least one habitable room window (living or bedroom) that addresses the primary street frontage. On corner lots, the dwelling must have a habitable room window that addresses the secondary street frontage.
- E. The habitable room window must have appropriate head and sill heights to provide passive surveillance to the Public Realm.
- F. On corner lots, the primary street frontage is the shorter frontage adjacent to the street, unless otherwise noted on the Plan of Subdivision or Building Envelope.

4.2 BUILDING SETBACKS

- A. Dwellings must be set back a minimum of 4.0m and a maximum of 5.5m from the front boundary unless the small lot housing code applies, or the Building Envelope allows. Garages must be set back a minimum of 5.0m from the front boundary and 0.5m minimum from the main building line.



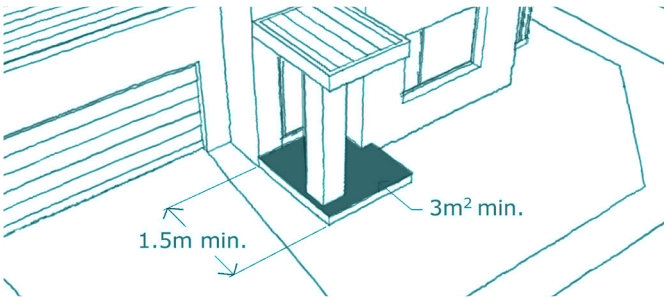
- B. Front entries should provide a sense of address, entry features such as balconies, verandas, open porches, covered walkways, and porticos that have a maximum height less than 4.5m above ground level may encroach into the front setback by no more than 1.5m.
- C. Façade treatments or covered balconies on double storey homes that have a maximum height of less than 6.6m above ground level may encroach into the front setback by no more than 1.5m.

4.3 SIDE SETBACKS

- A. Each dwelling must have at least one side setback of a minimum of 1.0m. Generally, dwellings on corner lots must be setback a minimum of 2.0m from the secondary street frontage. Refer to the Building Envelope Plan for more detail.
- B. Additional features listed below may encroach 500mm to the side and rear setback distances.
  - Porches and verandas
  - Eaves, fascia, and gutters
  - Screens, but only to the extent needed to protect a neighbouring property from a direct view
  - Domestic fuel tanks and water tanks
  - Heating and cooling equipment, and other services
- C. These minimum prescribed setbacks should also be considered in your landscaping plan to allow plenty of space for roots and branches to spread.

4.4 MASSING AND ARTICULATION

- A. Each dwelling must incorporate a prominent front entry point that is readily visible from the primary street frontage and complementary to the overall dwelling design.
- B. The front entry point may take the form of a portico, porch, veranda, or other feature to the satisfaction of the DAP, that has:
  - A minimum covered area of 3sqm
  - A minimum depth of 1.5m



- C. Rooms fronting the Public Realm must have a minimum ground floor ceiling height of 2700mm or 2550mm for lots 300sqm or less.
- D. Double storey dwellings must incorporate elements such as balconies and/or protrusions to articulate the front façade.

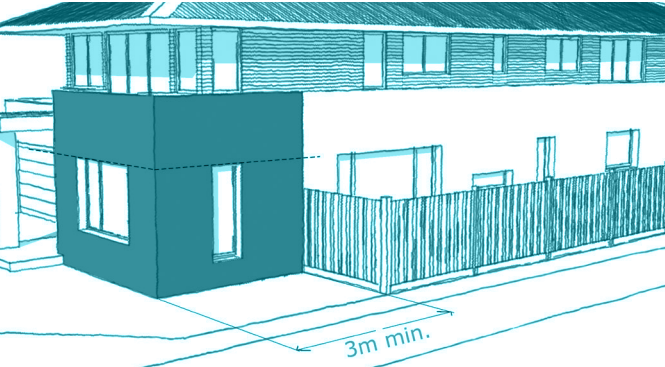
4.5 FAÇADE MATERIALS & FINISHES

- A. Home façades on lots wider than 12.0m should incorporate three contrasting materials and colours. Home façades on lots less than 12.0m wide should incorporate two contrasting materials and/or colours. Acceptable principal materials and or colours should be greater than 80% of the overall front façade (not including the garage door or windows).
- B. Materials used on the front façade must extend to the side elevation for a minimum of 3.0m. Additional requirements may apply to corner lots. See Articulation on corner lots for details.
- C. Colour schemes should adopt a palette of muted neutral tones. Front façade materials may include stone, masonry blocks, weatherboard (painted), lightweight cladding, timber cladding, render or other materials that are approved by the DAP.
- D. Aluminium sliding windows and doors are unlikely to be approved if visible from the Public Realm, unless they are manufactured from commercial or semi commercial sections.
- E. No dwelling is to be built with any exposed stumps.
- F. The front façade (and secondary frontages) must not include recessed lightweight infill panels above doors, windows or garage doors.
- G. Roll down security shutters must not be visible from the Public Realm.
- H. Homes should avoid replicating identical or similar façades to another dwelling within 3 lots in either direction on the same side of the street or within 3 lots on the opposite side of the street. Should similar façade designs be submitted for lots in proximity, consent will be managed at the discretion of the DAP.



4.6 ARTICULATION ON CORNER LOTS

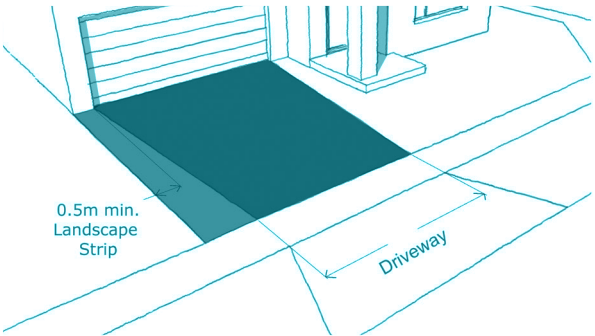
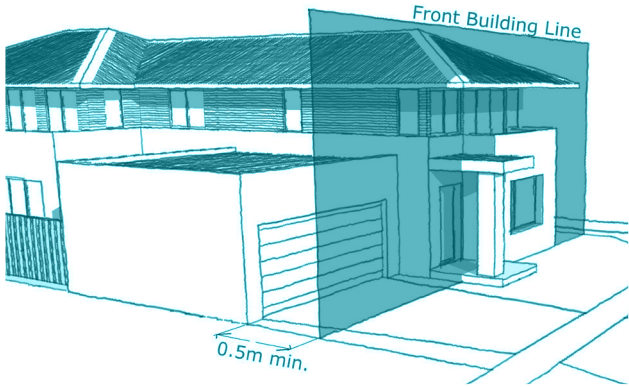
- A. Homes on corner lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage. This may include:
  - Windows with matching head heights
  - Highlight materials and finishes that wrap around the primary façade
  - Pergolas, porticos, porches, verandas, and balconies
  - Roof elements such as feature gables
  - Other treatments to the satisfaction of the DAP
- B. Materials used on the front façade must extend to the secondary frontage for a minimum of 3.0m.



- C. Corner features must be forward of the return fence and be readily visible from the Public Realm. Blank walls forward of the return fence are not permitted.
- D. In addition to the above requirements, dwellings on corner lots must include eaves to all sides facing the Public Realm unless otherwise approved by the DAP.

4.7 GARAGES AND DRIVEWAYS

- A. Garages must be integrated into the overall form of the dwelling.
- B. Garages must be enclosed. Carports and open sided garages are not allowed.
- C. Lots with a frontage of 12.5m or more must provide a double garage.
- D. The width of the garage door opening should not exceed 40% of the width of the primary lot frontage.
- E. Garage doors that are visible from the Public Realm must be either a panel lift, sectional overhead, or other similar type. Roller doors are not permitted if they are visible from the Public Realm.
- F. Each lot must have a maximum of one cross-over per frontage.
- G. Driveways must be constructed from a hard surface material such as exposed aggregate concrete; coloured through concrete, slate, natural stone, asphalt, or brick.
- H. Driveway colours should be muted. Plain (uncoloured) and painted concrete driveways are not permitted.
- I. Where the garage is located on the allotment boundary, a 500mm minimum landscaped garden bed is required between the driveway and side boundary.
- J. The driveway must not exceed the width of the garage door where they meet the garage, and must taper to the width of the crossover at the boundary.



4.8 RETAINING WALLS

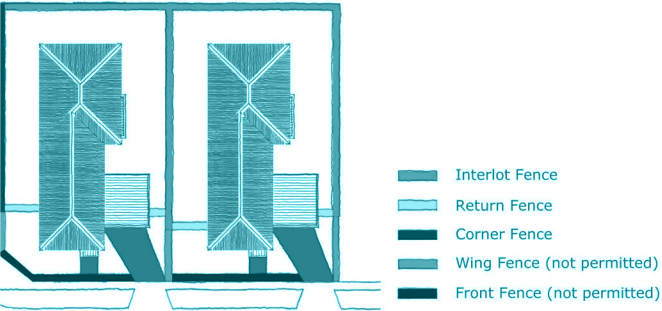
- A. The maximum height of any retaining wall is generally 1.0m. If a higher wall is required, more than one wall must be used in conjunction with graded slopes, battering and other landscape treatment to soften the appearance of the change in levels. Council approval may be required for retaining walls. Owners should make their own enquiry.
- B. Thought should also be given to providing a landscaping strip of approximately 200mm in front of the retaining wall to soften the height.
- C. Retaining walls visible from the Public Realm must be constructed from a material and finish to complement the house, to the satisfaction of the DAP.
- D. Acceptable finishes may include:
  - Stone
  - Face or rendered masonry
  - Concrete sleepers with an appropriate applied finish and galvanised support columns
- E. Timber sleepers are not permitted.
- F. The extent, height and finish of all proposed retaining walls must be included in any application for Design Approval.
- G. Refer to Council for additional retaining wall requirements.

4.9 ROOFING AND EAVES

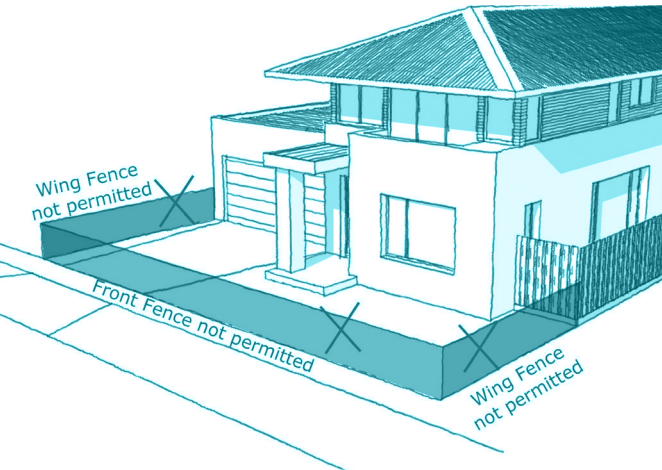
- A. A variety of roofing forms and styles is encouraged.
- B. Articulated roof shapes with elements such as hips, gables, Dutch gables and/or dormer windows are encouraged.
- C. Eaves provide shade in the summer months and allow the winter sun to penetrate the home during winter. Greater energy efficiency can generally be achieved by constructing eaves, making the house more sustainable and providing the opportunity for energy savings.
- D. Curved or other innovative roof designs that incorporate some flat elements will be assessed on their design merit.
  - Hip and gable roofs must have a minimum roof pitch of 22.5 degrees, steeper pitches are also encouraged on homes with a narrow frontage.
  - Ground level of all homes with a pitched roof must include minimum 450mm eaves to all sides of the home that face a street or public open space and return for a minimum 1.5m.
  - Additionally, double storey homes with a pitched roof must include a minimum 450mm eave to all sides of the dwelling on the upper level.
  - Walls constructed on side boundaries (zero lot line) will be exempt from the eaves requirements.
- E. The roof must be finished in one of the following materials and the colour must be complementary to the design of the home. Acceptable materials include pre-finished metal roof sheeting and low profile roof tiles.
- F. Galvanized, zincalume or unfinished roof materials and rainwater fixtures are not permitted.
- G. Roof materials must be matte and non-reflective.
- H. Walls constructed on side boundaries (zero lot line) will be exempt from eave requirements.
- I. Corner lot dwellings have additional roof requirements.

4.10 FENCING

A. Construction of fencing is completed by the purchaser, unless otherwise specified.

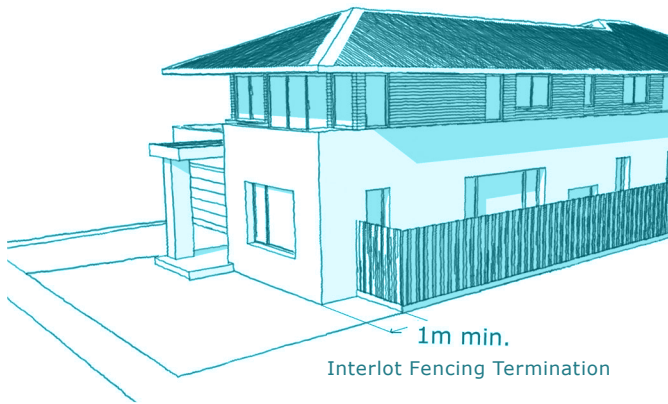
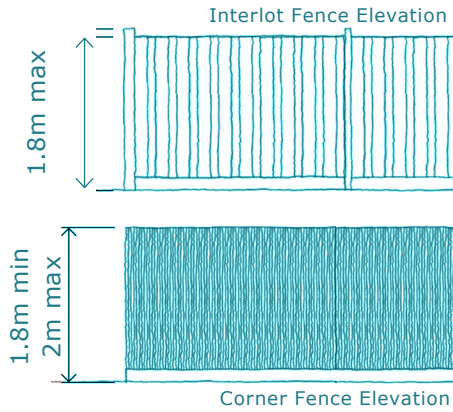


B. Front lot fencing and wing fencing is not permitted. The DAP may consider front lot fencing for integrated housing sites only.



C. Interlot fencing must be:

- Constructed with exposed timber posts on both sides, a 150mm bottom plinth, lapped timber palings and timber capping.
- A maximum height of 1.8m above natural ground level.
- Terminated a minimum of 1.0m behind the closest front wall of the dwelling, unless it is on the rear boundary of an adjoining lot.
- Terminated by returning to meet the closest wall of the dwelling (return fence).



- D. Corner fencing or fencing to the Public Realm boundary other than the frontage corner must be timber framed brush fencing detail.
- E. Timber framed brush fencing must be constructed with:
- Between 1.8m and 2.0m high with exposed timber posts.
  - 150mm timber bottom plinth.
  - For corner fencing – terminated a minimum of 3.0m behind the closest front wall of the dwelling or 1.0m behind any corner treatment (whichever is greater).
  - Terminated by returning to meet the closest wall of the dwelling.
- F. Return fences must be constructed with materials, finishes and heights that match the adjacent fence.
- G. Any gates in a fence must match or complement the fence in terms of materials and finishes.

4.11 LETTER BOXES AND ANCILLARY

- A. Letterboxes must complement the home design in terms of materials, colours and style.
- B. Single post supporting letterboxes will not be approved.
- C. Dwelling services such as satellite, antennae and external receivers must be located to the rear of the building and not readily visible from the Public Realm.
- D. Heating and cooling units must be located towards the rear of the dwelling and not readily visible from the Public Realm. If located on the roof the units must be positioned below the ridge line, and coloured to match the roof as far as practical.
- E. Photovoltaic cells, solar panels and the like may be located to maximise their efficiency if they integrate with the roof form.
- F. Any outbuildings less than 10sqm should not be readily visible from the Public Realm.
- G. Any outbuilding greater than 10sqm must be constructed so that the external appearance matches the main dwelling in colours, material and form, and:
- Have a maximum height of 3.6m at the ridgeline, measured from natural ground level.
  - Have a maximum height of any perimeter wall, excluding the gable infill, of 2.4m, measured from the natural ground level.
- H. Ancillary items such as rubbish bins, recycling bins, washing lines, hot water systems, water storage tanks, swimming pools, spa pumps and external plumbing are to be stored or located away from public view.
- I. Storage of trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles are to be located out of public view when parked or stored on the lot.
- J. Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer. For completed dwellings one sign may be erected to advertise the sale.
- K. Signs for dwelling names and home businesses are not permitted.
- L. The development qualifies for future NBN roll out. All premises must be aware and conform with the NBN Co Preparation and Installation Guide for SDU's and MDU's.

4.12 LANDSCAPING

- A. At Harriott, Jinding is offering a front landscaping package with four designs to choose from. To check your eligibility please refer to your contract of sale.
- B. If you are eligible for the front landscaping package, a Landscape Plan will need to be included in your design submission with driveway materials, locations and finishes, fencing line, water connections and water tank locations, letterbox design and location. Planting locations and species are not required. Once your home construction is complete, visit the Harriott Buyers Portal to claim your landscaping package.
- C. If you are not eligible for the front landscaping package, a landscape plan will need to be included in your design submission.
- D. No more than 50% of the front garden is to comprise hard paved surfaces.
- E. The garden must contain free draining surfaces such as grass, ground covers, river pebbles or Lilydale toppings, and garden beds containing trees, shrubs or tufting plants.
- F. Scoria or quartz surfaces should be avoided.
- G. Lots that are 12.5m or wider must have at least one advanced evergreen tree and one deciduous tree, both with an installation height of 2.0m and planted between the front building line and street boundary.
- H. Lots that are less than 12.5m wide must have at least one tree with a minimum installation height of 2.0m, planted between the front building line and street boundary.
- I. All garden bed areas within the front yard must be edged using brick, timber, steel, or spaded edges and be planted with:
- A minimum of 10 medium to large shrubs (from 200mm pot size at installation).
  - A minimum of 15 smaller shrubs (from 150mm pot size at installation).
  - A minimum of 15 ground cover plans (from 150mm pot size at installation).
  - Garden beds should be a minimum of 500mm wide and planted densely to ensure good coverage of growth.
  - Garden beds should be mulched to help keep the soil moist. Use pine bark or other organic matter, or decorative pebbles.
- J. Any landscape areas visible from the street or open space must always be maintained, kept neat and tidy with no excessive weed growth. This includes nature strips which are the responsibility of the lot owner.

# 5. ENVIRONMENTAL SUSTAINABILITY

## A. LIVEABILITY CONSIDERATIONS

Applicants are encouraged to submit designs that are environmentally responsible. The orientation of your lot will determine the best siting of the house on the lot. A building’s orientation plays a large part in achieving the optimum solar access for your home during winter. Lots on the north side of a street will have sunny backyards – good for private outdoor living. Lots on the south side of a street will have sunny front yards – good for show piece gardens. Lots facing east-west will have sunny side yards – these houses should be sited to leave the largest possible outdoor living space along the northern boundary.

Dwellings can become more liveable by considering the orientation of rooms and windows, shading of windows and walls, ceiling heights, sustainable building materials, cross flow ventilation, covered open spaces, insulation and water efficient fixtures. Eave design can act as excellent shading devices during warmer months. Implementing these features can also result into substantial financial savings for the homeowner. Double storey homes must respect the privacy of neighbouring dwellings, including potential overshadowing issues that may arise as a result of siting choices. It is the responsibility of applicants with double storey proposals to ensure their design has demonstrated these factors and to receive approval from the relevant authority and/or building surveyor prior to construction.

## B. SOLAR HEATING PANELS

Solar heating panels must be located on roof planes preferably not visible from the Public Realm. The panels should follow the roof pitch. Where visible from the Public Realm, solar panels will be assessed on their merits regarding scale, form, and colour.

## C. RAINWATER TANKS

Rainwater storage is encouraged. The rainwater tank and all accessories must not be in front of the dwelling or be visible from the street and public spaces. The rainwater tank and all accessories must be coloured to match the dwelling. To help calculate the size of water storage that you may require please contact the Department of Sustainability and Environment for appropriate storage requirements in relation to the collection area provided.

## D. RECYCLED WATER

Recycled water will be available for non-drinking purposes such as toilet flushing and garden usage. To reduce consumption of potable water, residents are required to connect all toilets and two garden taps (front and rear) to the recycled water system.

## E. ENERGY RATINGS

It is the applicants’ responsibility when building a home to comply with Victoria’s energy rating requirements. Dwelling designs should be assessed by a licensed energy rating company and they in turn will make recommendations regarding insulation and other resource saving measures. Dwellings must achieve the minimum standard as currently legislated.

# 6. CREATING GREAT NEIGHBOURS

Harriott is designed for an idyllic lifestyle. At Jinding, we’ve created a community that is beautifully connected through green parks, walking paths and trails, while making the most of the neighbouring wetlands and walkable neighbourhoods.

This guide has been created to help all new residents settle into their new community and to provide some tips to create a space where all feel welcomed.

## A. PARKING

Most land lots and homes have been designed to accommodate two vehicles. Vehicles are not permitted in your front yard, on footpaths, or on vacant land. Driveways can be used to park cars but are not intended for the long-term storage of boats, caravans, or containers. These are also not permitted to be parked on the street.

## B. GARDENS

To keep Harriott looking great, a landscape design standard has been created. Front gardens should be kept tidy with your lawn, including verges, kept mown and free of weeds. Garden beds and plants should also be maintained regularly.

## C. WASTE

Rubbish bins are to be kept behind fences or away from public view, except on the day of rubbish collection. Once your rubbish has been collected, please ensure prompt collection of your bins and that they are once again stored out of public view.

## D. LAUNDRY

Clothes drying facilities must be located away from, or screened, from public view.

## E. NOISE

We’re a community of friends and neighbours. In the interest of positive neighbour relations, please consider those around you and always keep noise to a respectable level.

## F. WINDOW FITTINGS

Homes should be fitted with curtains, blinds, or shutters. Please ensure visually prominent security screens (e.g., diamond grills), or vertical blinds are not installed on doors or windows facing any street frontage.

## G. FENCING

Fencing is the responsibility of the property owners. If you share a fence with a neighbour, it’s a good idea to get in contact with them to discuss your requirements and make arrangements that suit both households. Due to privacy laws, Jinding can not disclose purchaser details, but you can request this information from the City of Geelong website.

Throughout the construction of your land lots, Jinding will host ‘welcome events’ which are a great opportunity to meet your neighbours. Another alternative, you can agree to pass on your details to your neighbours through the sales team or customer relations, and we can provide your details. Please contact Customer Relations at [customerrelations@jjinding.com.au](mailto:customerrelations@jjinding.com.au) with your best contact details and the lots you wish to get in contact with.



7. CONSTRUCTION OBLIGATIONS

Maintaining appealing streetscapes is essential to Harriott even during the construction phase. We ask that you consider the following information and ensure your builder is also aware of the expectations so that Harriott always presents well and is welcoming to its visitors. We thank you in advance for your cooperation.

A. LOT MAINTENANCE

While waiting for construction to commence on your land lot, you must not allow any rubbish including site excavations and building materials to accumulate. Please maintain the lot to avoid excessive growth of grass or weeds.

B. CONSTRUCTION

Please ensure your building site is clean and safe at all times. Your builder should provide a secure enclosure to contain rubbish for the duration of your construction period. Bins and site facilities should not impede on neighbouring properties, roads, footpaths, or public spaces.

C. COUNCIL ASSETS

Please ensure the council land directly surrounding your lot is not damaged during your home construction.

The road and verge in front of your lot including the concrete footpath, and services such as water meters, telecommunication boxes and electrical pillars are assets owned by the City of Greater Geelong or service authorities.

These assets cannot be altered without the correct approval from council or the relevant service authority. Council inspects these assets at the completion of construction, when assessing the Certificate of Occupancy to ensure no damage or alteration has occurred. It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.

The purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserves or any waterways.

Please also protect any street trees, nature strips and kerbs during the building works.

D. REPORT ILLEGAL DUMPING OR DAMAGED PROPERTY

To help minimise rubbish on site, if you witness illegal dumping of rubbish, soil, concrete etc, please take a photo and submit a report to the relevant local authority via the Snap, Send, Solve app. [www.snapsendsolve.com](http://www.snapsendsolve.com)



Artist's impression

8. ACREAGE PRECINCT DESIGN GUIDELINES

Additional requirements apply to lots situated north of Vicosa Drive in Harriott at Armstrong Creek.

These requirements are supplementary to, and take precedence over, the requirements detailed elsewhere in the Harriott at Armstrong Creek Design Guidelines.

These requirements apply to lots 1251-1263 and lots 1313 – 1319, as shown in yellow below.

The map also shows the lot type for each affected lot.

The lot type will identify which of these alternative requirements apply to the lot in question.



8.1 DEFINITIONS:

- A. The width of the lot is the width at the front building line.
  - B. For clarity, we confirm that any lot adjacent to a reserve is a Corner Lot.
- Front Boundary – Lots 1253, 1256, 1260, 1261**
- C. The front boundary is the boundary that abuts the Type S lot.
- Front Boundary – Lot 1252**
- D. The front boundary is the boundary that abuts Harriott Road.
- Front Boundary – All other lots**
- E. The front boundary is the boundary that abuts Vicosa Drive.

8.2 LOT LAYOUT

Minimum Dwelling Size (replaces 4.1C)

The dwelling size, must comply with the following minimum, excluding garage and all unenclosed areas, unless otherwise approved by the DAP.

- A. Type L lots - 250sqm
- B. Type S lots - as per main design guidelines.

Minimum Dwelling Width

- C. Except for lot 1252, the width of dwellings on Type L lots must be a minimum of 70% of the width of the lot.

Front Façade Articulation (replaces 4.1D and 4.1E)

- D. The front façade of all dwellings must incorporate windows to all rooms that address the front of the lot.
- E. The windows must have appropriate head and sill heights to provide passive surveillance to the front of the lot.



8.3 BUILDING SETBACKS

All setbacks must comply with the building Envelope for that lot. Generally, this means that:

Front Setback (replaces 4.2A)

- A. Dwellings must be set back a minimum of 4.0m and a maximum of 5.5m from the front boundary unless the Building Envelope allows.
- B. Garages must be set back a minimum of 5.0m from the front boundary and 0.5m minimum from the main building line.

Side Setbacks - Type L Lots (replaces 4.3A)

- C. For Type L lots, both sides must be set back at least 2m from the side boudary.

Side Setbacks - Type S Lots

- D. For Type S lots, refer to 4.3A in the Harriott Design Guidelines.
- E. For both Type S and Type L lots, Encroachments into rear setback must not extend north of the Q100 flood line.

8.4 MASSING AND ARTICULATION

Front Façade

- A. Type L lots must address the front of the lot via the use of articulation to the front façade. Articulation may take to form of finishes, windows, colours and/or other elements, to the satisfaction of the DAP.

Entry Feature

- B. All dwellings on Type L lots must incorporate a covered verandah that is:
  - at least 5.0m wide; and
  - a minimum 1.5m deep across at least 80% of the verandah width.

Front Door

- C. For dwellings in Type L lots, the front doors must be double leafed or include sidelight windows.
- D. In addition to standard DGs, frontage of all Type L lots must be well articulated.

Lot 1261 and Lot 1313

- E. The dwellings on these lots must also incorporate one of the following elements to address the linear reserve:
  - Deck
  - Verandah
  - Enclosed alfresco.

Alternative treatments may be considered by the DAP. Approval for alternative treatments is at the sole discretion of the DAP.

8.5 FAÇADE MATERIALS AND FINISHES

Return of Front Façade Materials (replaces 4.5B)

- A. For Type L lots, materials used on the front façade must extend to the side elevation for a minimum of 5.0m.
- B. For Type S lots, materials used on the front façade must extend to the side elevation for a minimum of 3.0m.

8.6 GARAGES AND DRIVEWAYS

Garage Width (replaces 4.7C)

- A. All lots must provide a double width garage with a minimum width of 5.5m internally. Single width garages are not permitted.

Garage Door Width (replaces 4.7D)

- B. The width of the garage door opening must not exceed 40% of the width of the lot.

Crossover

- C. All lots are limited to one crossover with a maximum width of 3.5m.

8.7 ROOFING AND EAVES

Verandah Roofs

- A. Verandah roofs must have pitch between 5-15 degrees.

Eaves (in addition to 4.9Dii and 4.9Diii)

- B. For type L lots, where an eaves is mandatory, the eaves must be at least 600mm deep and must return along the side walls for a min of 6.0m.

8.8 FENCING

Interlot fencing (replaces 4.10C)

- A. For Type L lots, all boundaries other than a boundary adjacent to Type S lot, must be post and rail fencing.



Return Fencing (replaces 4.10F)

- B. Return fencing is not mandatory on type L lots.
- C. Where a return fence is used, it must match the adjacent boundary fence.

Lots 1251, 1261, 1263 and 1313

- D. The western boundary of Lot 1251 and the eastern boundary of Lot 1263 must incorporate brush boundary fencing as detailed in the fencing section of these Design Guidelines.
- E. Boundary fencing on the eastern boundaries of Lot 1261 and 1263, as well as the boundary fencing along the western boundary of Lot 1313, must continue along the full length of that boundary.
- F. Boundary fencing on the eastern boundaries of Lot 1261 and 1263, as well as boundary fencing along the western boundary of Lot 1313 must not be removed. The fencing must also not be altered if the alterations would result in a different fence material height or level of visual permeability.

8.9 OUTBUILDINGS

- A. All outbuildings on Type L lots must not encroach into 2m side setback.

8.10 FRONT GARDEN LANDSCAPING

Landscape Packages not provided Front Landscaping (replaces 4.12A and 4.12B)

- A. Front landscaping packages are not provided for Type L lots.
- B. The requirements of the Landscaping section of Harriott at Armstrong Creek Design Guidelines must be adhered to in the design and construction of front landscaping to Type L lots.

Front Landscaping permeability

- C. For Type L lots, garden beds must comprise at least 20% of front garden area.

8.11 LANDSCAPING BUFFER

- A. For all Type L lots, landscaping buffer of 10m depth from the rear of the lot must be installed within 120 days after Certificate of Occupancy is issued.
- B. Landscape buffer must be planted as follows:
  - Shrubs (minimum 140mm tube stock pot size) planted at a density as specified in the Landscape Buffer Planting Schedule
  - For lots less than 30m wide, must have 4 trees planted within landscape buffer. For lots equal to or greater than 30m wide, must have 6 trees planted within landscape buffer. Trees to be planted must have minimum installation height of 1.5m, with species as per the Planting Schedule.
- C. Once planted, landscape buffer must continue to be maintained by the landowner, and any dead plants or trees must be replaced within 2 months with plants from the Landscape Buffer Planting Schedule.

8.12 HOME STYLE

Lots in the acreage precinct should follow a contemporary interpretation of a traditional country house. Examples of this are shown below:



Rochester with Savannah Façade by Dennis Family Homes



Davenport with Whitehaven Façade by Metricon



Annandale 27 with McDonald Façade by Simonds Homes



Sovereign 290 with Hamptons Façade by JG King Homes

LANDSCAPE BUFFER PLANTING SCHEDULE

GARDEN BED PLANTING MIX				
Indicative planting mix (subject to Council approval)				
BOTANICAL NAME	COMMON NAME	MATURE SIZE (HxW)	CENTRES/SPACINGS	DENSITY m2
Acacia acinacea	Gold Dust Wattle	1-3 x 1-2	1.5	1
Astroloma humifusum	Cranberry Heath	0.1-0.5 x 0.5-1.5	1.5	1
Austrodanthonia setacea	Bristly Wallaby-grass	0.6 x 0.3	0.5	4
Austrostipa mollis	Supple Spear-grass	1.2 x 0.3	0.5	4
Banksia marginata	Silver Banksia	5 x 4	8m spacing	lineal m
Bossiaea prostrata	Creeping Bossiaea	0.2 x 0.5-1.5	1.5	1
Bursaria spinosa	Sweet Bursaria	1.5 x 1.5	1.5	1
Dichondra repens	Kidney-weed	0.1 - 0.3 x 1-5	0.5	4
Gonocarpus tetragynus	Common Raspwort	0.3 x 0.4	0.3	12
Microlaena stipoides var. stipoides	Weeping Grass	0.2 x 0.5	0.3	12
Pimelea humilis	Common Rice-flower	0.5 x 0.5-1	0.5	4
Themeda triandra	Kangaroo Grass	0.8 x 0.5	0.5	4

TREE SCHEDULE

Indicative planting mix (subject to Council approval)		
4 trees per lot (30m wide), 6 trees per lot (45m wide)		
CODE	BOTANICAL NAME	MATURE SIZE (HxW)
Eb	Eucalyptus ssp bellarinensis	12 x 6
MI	Melaleuca lanceolata	7 x 3

9. DESIGN APPROVAL CHECKLIST

The Harriott Buyers Portal (portal.harriottarmstrongcreek.com.au) will prompt you to enter all the information required to make an application for design approval at Harriott.

The information required to lodge an application includes:

- ☐ Lot number and street name
- ☐ Owner’s name, address, and contact details
- ☐ Builder/Designer’s name, address, and contact details
- ☐ Applicant’s name, address and contact details, if the applicant is not any of the above parties

The design information listed in Section 1.3, Submission Requirements, including...

- ☐ Site Plan
- ☐ Floor Plan(s)
- ☐ Elevations
- ☐ Landscape Plan
- ☐ Printed Colour Board with materials/ colour/ finishes samples

Please note that incomplete or partial applications will be returned without assessment.

SITEPLAN CHECKLIST

- ☐ North point
- ☐ Scale 1:200, with all dimensions
- ☐ Lot boundaries and any easements on title
- ☐ Proposed building footprint and setbacks (from all boundaries)
- ☐ Contours (at 0.5m intervals or less) or spot levels
- ☐ Location of driveway and crossover and front path
- ☐ Other external structures (including pools and spas)

All ancillary items including but not limited to;

- ☐ Water tanks and storage units
- ☐ Solar panels
- ☐ Television antennae
- ☐ Air conditioning units
- ☐ Evaporative cooling units
- ☐ Heating units
- ☐ Bin storage area
- ☐ Sheds and any out buildings

- FLOORPLANS, ROOF PLANS AND ELEVATIONS
- ☐ North point
  - ☐ Scale 1:100 with all dimensions
  - ☐ Proposed floor levels
  - ☐ Internal layout and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings

MATERIALS & FINISHES SCHEDULE

- ☐ All building façade materials and colours
- ☐ All roof colours and materials
- ☐ All fencing colours and finishes

LANDSCAPE PLAN

Please note purchasers eligible for Harriott’s Free landscaping offer are not required to submit any planting locations or species as part of their design submission.

- ☐ Scale 1:100, with all dimensions
- ☐ Driveway materials and finish
- ☐ Fencing line, materials and colours
- ☐ Planting locations and species (If required, see section 4.12)
- ☐ Water connection
- ☐ Water tank locations
- ☐ Letterbox design and location

RETAINING WALLS

For lots with greater than 1.5m land fall

- ☐ Scale 1:100, with all dimensions
- ☐ Sectional drawing that explains the extent of proposed cut and fill location, and height of proposed retaining wall.

## NGD DESIGN

Phone: 03 9849 6222

Email: [approvals@ngdd.com.au](mailto:approvals@ngdd.com.au)



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