


PLAN OF SUBDIVISION				LV USE ONLY EDITION		PLAN NUMBER PS 845126P	
LOCATION OF LAND				COUNCIL NAME: CITY OF GREATER GEELONG			
PARISH: CONEWARRE							
TOWNSHIP: -							
SECTION: 7							
CROWN ALLOTMENT: A (PT)							
CROWN PORTION: -							
TITLE REFERENCES: -							
LAST PLAN REFERENCE/S: PS 838315B (LOT E)							
POSTAL ADDRESS: 2 HARRIOTT ROAD (At time of subdivision) ARMSTRONG CREEK, 3217							
MGA2020 Co-ordinates E 270 440 (of approx centre of N 5 765 570 land in plan) ZONE 55							
VESTING OF ROADS AND/OR RESERVES				NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		LOTS A TO F AND 1 TO 441 (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.  FOR RESTRICTION A AFFECTING LOTS 442 - 462 (BOTH INCLUSIVE) SEE SHEET 8  FOR RESTRICTION B AFFECTING LOTS 451 TO 453 AND 455 TO 462 (ALL INCLUSIVE) SEE SHEET 8  <b>OTHER PURPOSES OF PLAN</b>  - ANY EASEMENTS SHOWN ON PREVIOUS PLANS AS IT AFFECTS ROADS R1 ON THIS PLAN ARE REMOVED VIDE SCHEDULE 5, CLAUSE 14 OF THE ROAD MANAGEMENT ACT 2004.			
ROAD R1		CITY OF GREATER GEELONG					
NOTATIONS							
DEPTH LIMITATION DOES NOT APPLY  STAGING THIS <del>IS</del> /IS NOT A STAGED SUBDIVISION. PLANNING PERMIT No. PP-1389-2018  SURVEY. THIS PLAN IS/ <del>IS NOT</del> BASED ON SURVEY.  THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s): CONEWARRE PM109 & DUNEED PM 195  In Proclaimed Survey Area No. NO  HARRIOTT @ ARMSTRONG CREEK - 4B 1.033ha 21 LOTS							
EASEMENT INFORMATION							
LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)							
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of			
SEE SHEET 2 FOR EASEMENT DETAILS							
MNG Ref: 80004PS-040B.DWG			SURVEYOR REF: 80004PS-040B.DWG		ORIGINAL SHEET SIZE: A3		SHEET 1 OF 8
 <div>MC MULLEN NOLAN GROUP 31/574 Plummer Street Port Melbourne VIC 3207 Tel: (03) 7002 2200 Fax: (08) 7002 2299 Email: info@mngsurvey.com.au</div>			MATTHEW DUNN		VERSION 1		

PLAN OF SUBDIVISION

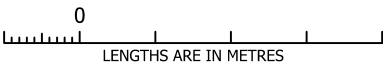
PLAN NUMBER  
PS 845126P

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	PS 821074R SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION
E-2	DRAINAGE	SEE PLAN	PS 821074R	CITY OF GREATER GEELONG
E-2	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	PS 821074R SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION
E-3	WAY	SEE PLAN	PS 821074R	RESERVE No. 3 & No. 4 ON PS 821074R
E-3	DRAINAGE	SEE PLAN	PS 821074R	CITY OF GREATER GEELONG
E-3	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	PS 821074R SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION
E-3	POWERLINE	SEE PLAN	PS 821074R SEC. 88 ELECTRICITY INDUSTRY ACT 2000	POWERCOR AUSTRALIA LTD
E-4	POWERLINE	SEE PLAN	PS 821074R SEC. 88 ELECTRICITY INDUSTRY ACT 2000	POWERCOR AUSTRALIA LTD
E-5	DRAINAGE	SEE PLAN	PS 821075P	CITY OF GREATER GEELONG
E-6	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	PS 821075P SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION
E-7	DRAINAGE	SEE PLAN	PS 821075P	CITY OF GREATER GEELONG
E-7	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	PS 821075P SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION
E-8	DRAINAGE	SEE PLAN	PS 821078H	CITY OF GREATER GEELONG
E-9	DRAINAGE	SEE PLAN	PS 821078H	CITY OF GREATER GEELONG
E-9	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	PS 821078H SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION
E-10	DRAINAGE	SEE PLAN	PS 838315B	CITY OF GREATER GEELONG
E-11	DRAINAGE	SEE PLAN	THIS PLAN	CITY OF GREATER GEELONG
E-12	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION
E-13	DRAINAGE	SEE PLAN	THIS PLAN	CITY OF GREATER GEELONG
E-13	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN SEC. 136 OF THE WATER ACT 1989	BARWON REGION WATER CORPORATION



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SCALE



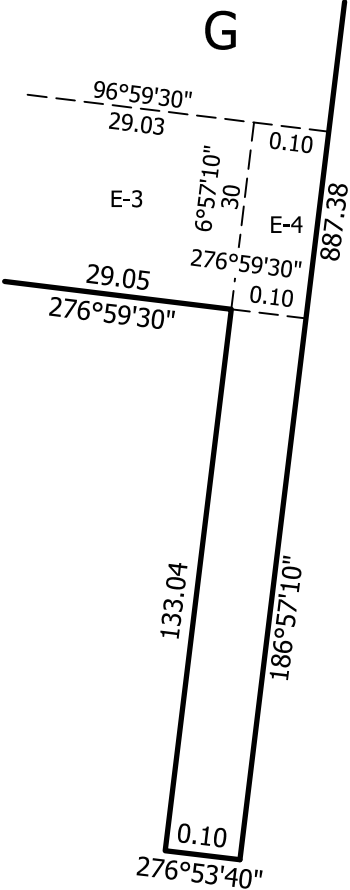
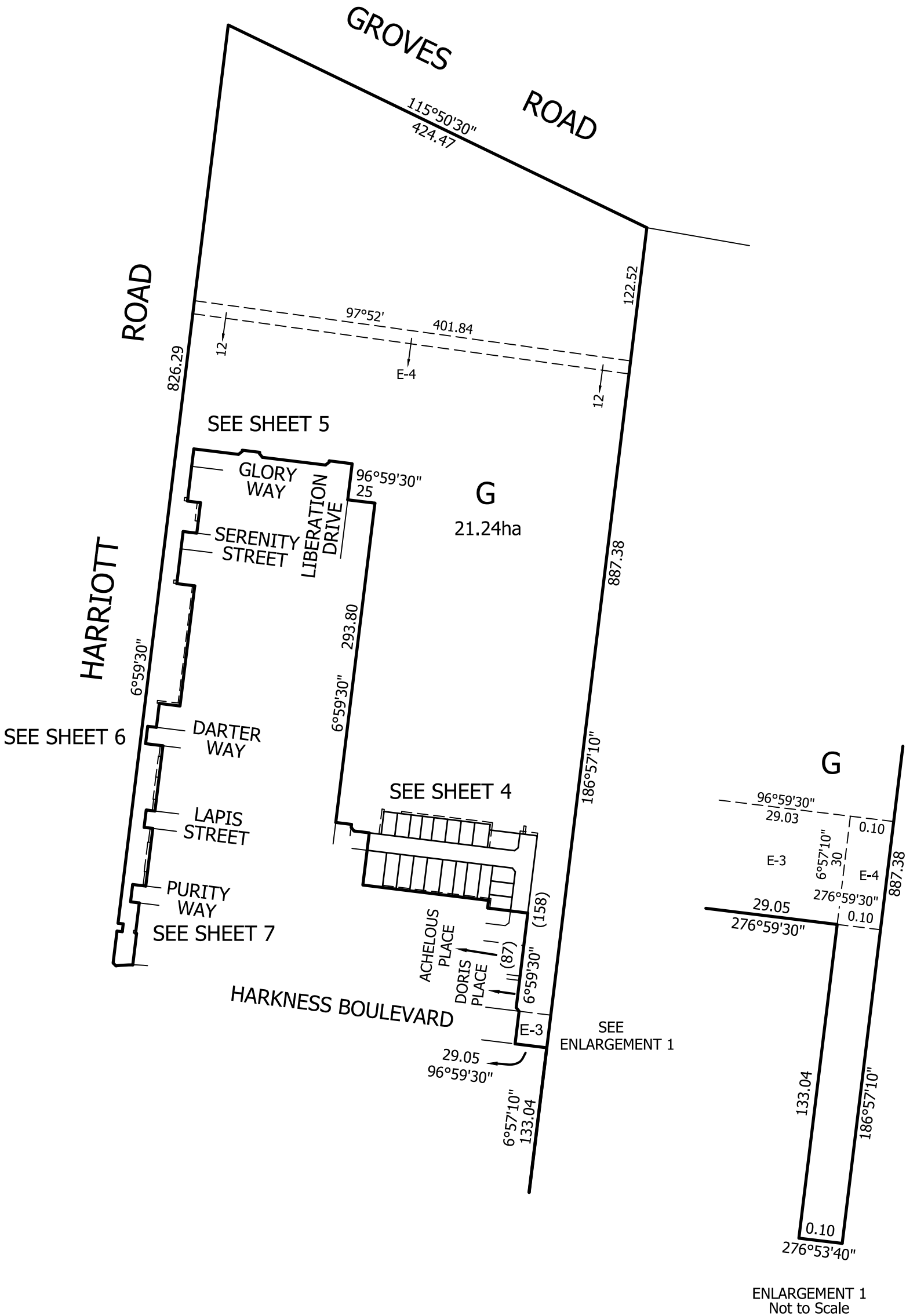
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SHEET 2

M.G.A. 2020 |  ZONE 55

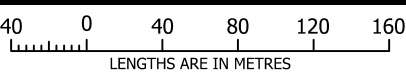


ENLARGEMENT 1  
Not to Scale



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SHEET 3

M.G.A. 2020

ZONE 55

GALENE DRIVE

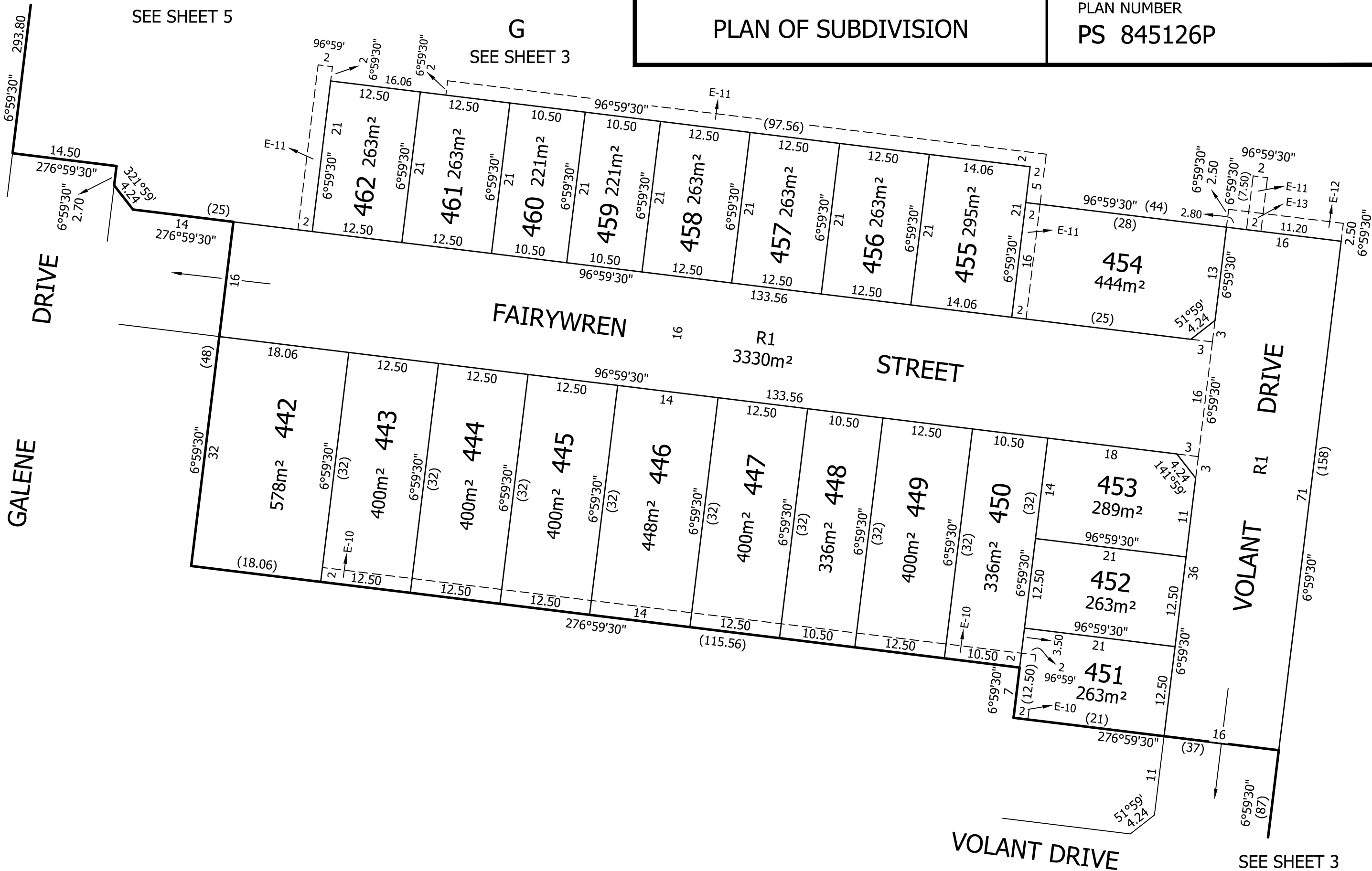
DRIVE

SEE SHEET 5

G  
SEE SHEET 3

# PLAN OF SUBDIVISION

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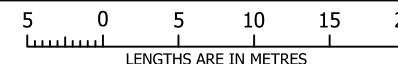


SEE SHEET 3



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1:500

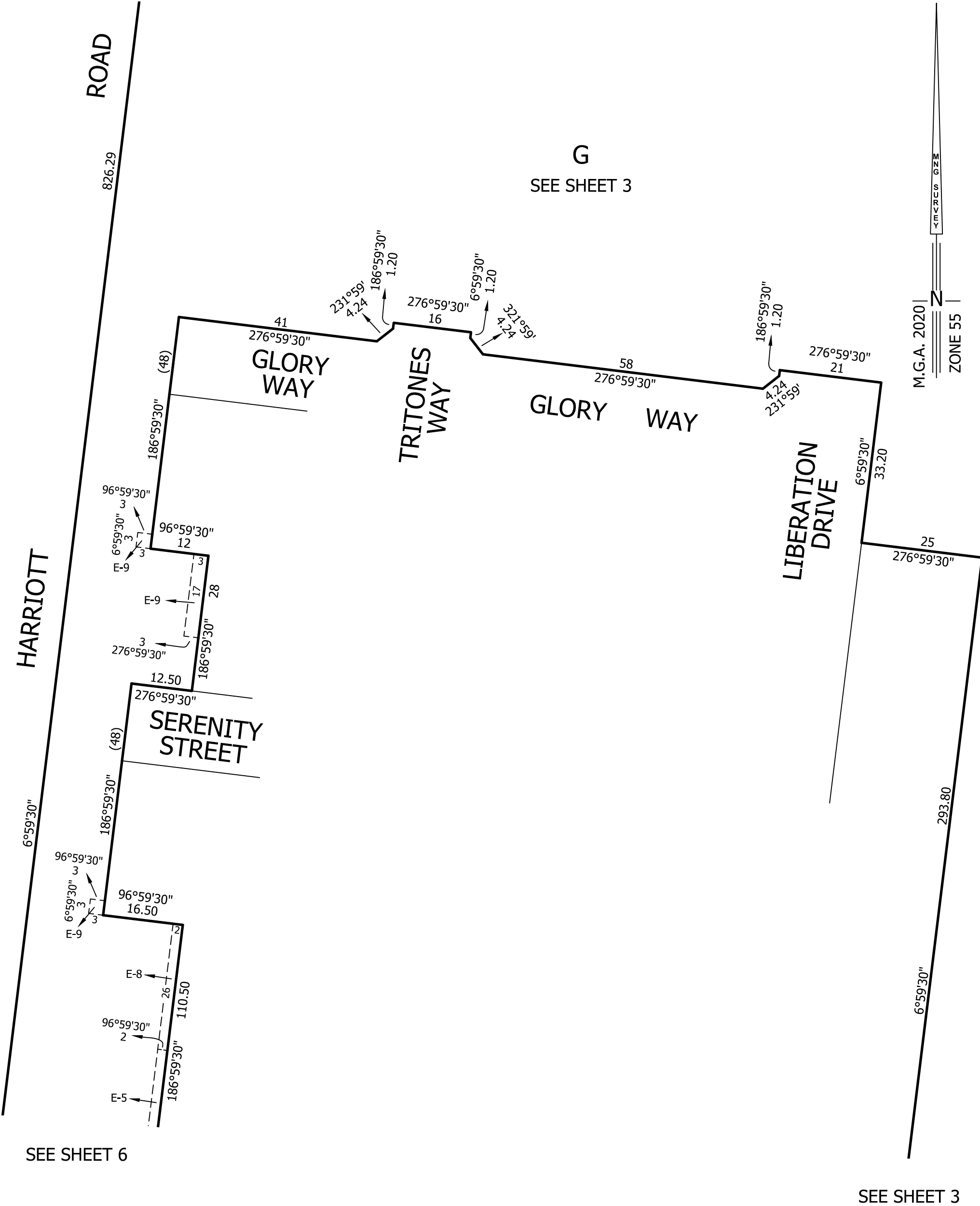


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SHEET 4

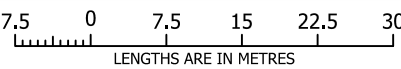
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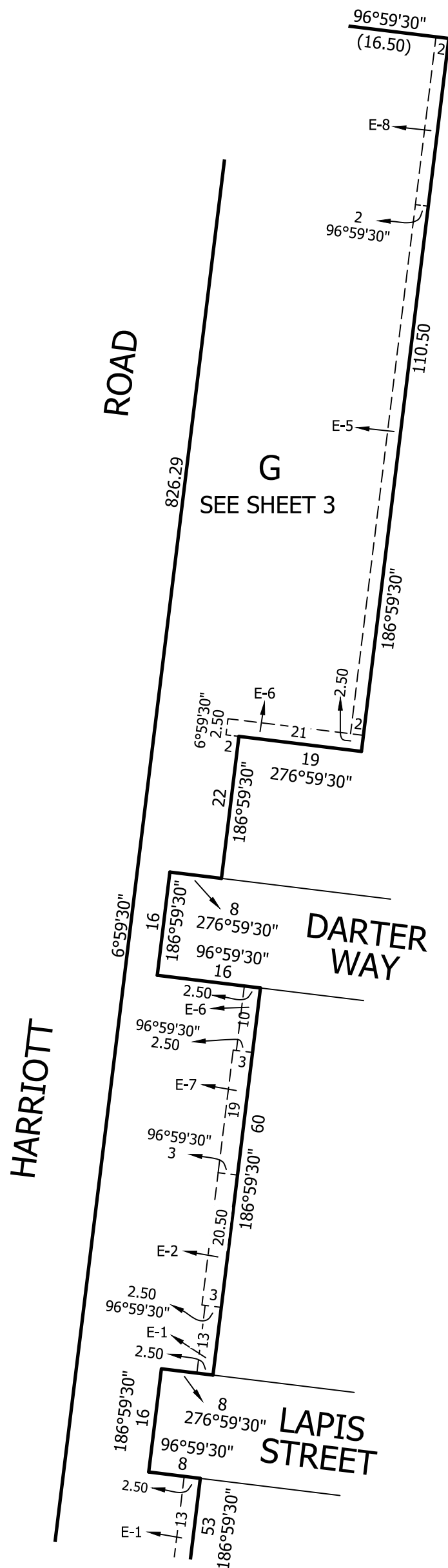
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SHEET 5

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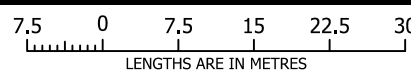
SEE SHEET 7



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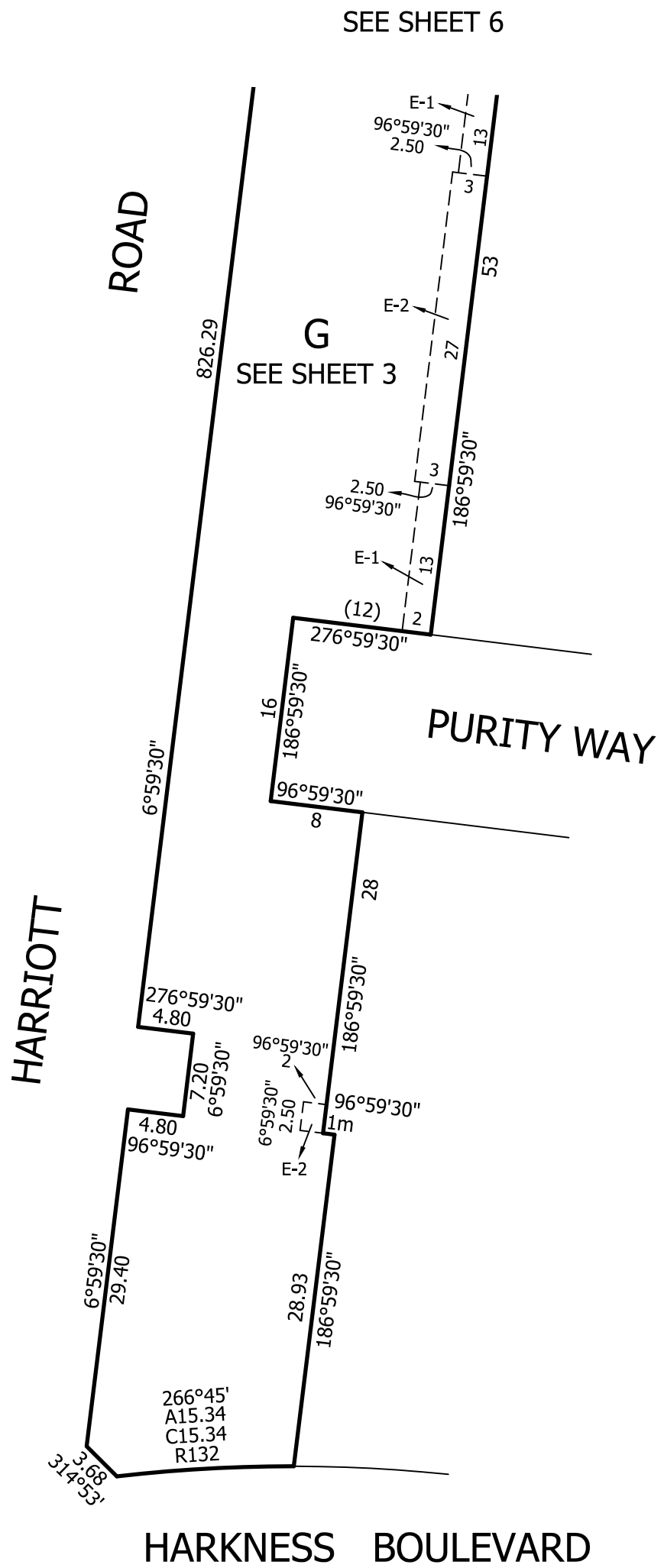
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SHEET 6

# PLAN OF SUBDIVISION

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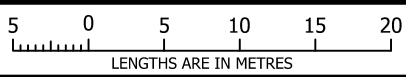
M.G.A. 2020 | N MNG SURVEY | ZONE 55



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SHEET 7

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SUBDIVISION ACT 1988

CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Land to benefit & to be burdened  
Lots 442 to 462 (both inclusive)

Description of Restriction

Except with the written consent of the 'Harriott @ Armstrong Creek' assessment panel, the burdened lot shall not:

- (1) Construct or allow to be constructed any building or structure other than a building or structure that shall be constructed in accordance with the 'Harriott @ Armstrong Creek' design guidelines as amended from time to time. A copy of the design guidelines is available on the *Project Website* and within the *Contract of Sale*
- (2) Construct or allow to be constructed any building or structure on the lot prior to 'Harriott @ Armstrong Creek' design assessment panel or such other entity as may be nominated by 'Harriott @ Armstrong Creek' design assessment panel from time to time have given its written approval to the plans and documentation prior to the commencement of works.

Expiry

This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (ii) 30th June 2031.

CREATION OF RESTRICTION B

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Table of Land Burdened and Land Benefited

Burdened Land	Benefited Land
451	450, 452
452	450, 451, 453
453	450, 452
455	454, 456
456	455, 457
457	456, 458

Table of Land Burdened and Land Benefited

Burdened Land	Benefited Land
458	457, 459
459	458, 460
460	459, 461
461	460, 462
462	461

Description of Restriction

The registered proprietor or proprietors for the time being for any burdened lot on this plan in the table a lot subject to the "Small Lot Housing Code (Type A)" must not build or permit to be built or remain on the lot any building or structure that has been constructed in accordance with the "Small Lot Housing Code (Type A)" unless in accordance with a planning permit granted to construct a dwelling on the lot.

Expiry

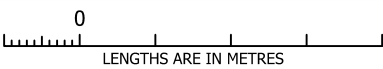
This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (ii) 30th June 2031.



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SHEET 8

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