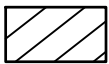
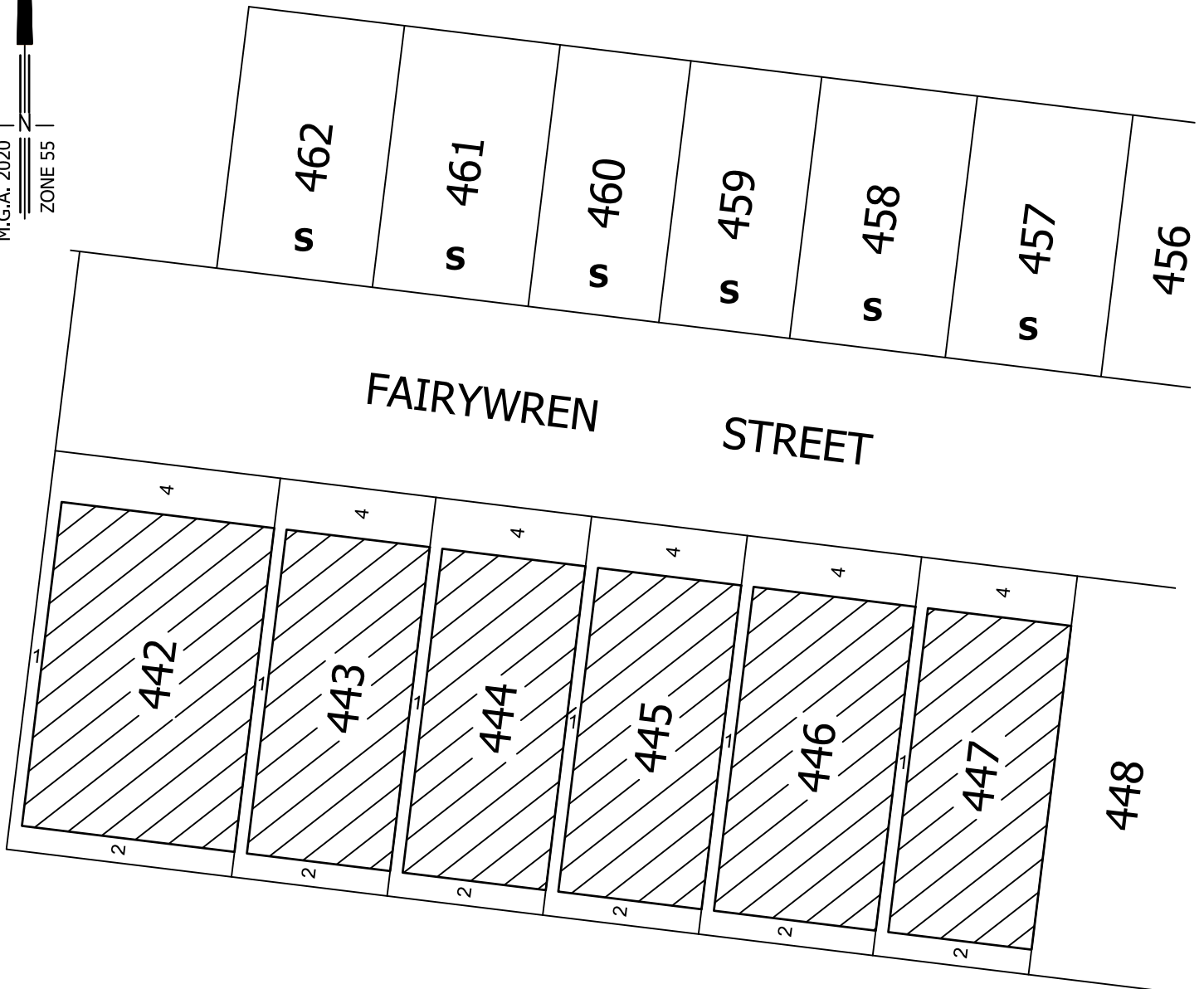


SCHEDULE 1

HARRIOTT @ ARMSTRONG CREEK STAGE 4B BUILDING ENVELOPES

M.G.A. 2020 |
ZONE 55 |



- BUILDING ENVELOPE

S

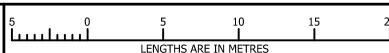
- SMALL LOT HOUSING CODE - TYPE A

- Garages are to be set back a minimum of 5 metres from the primary frontage of the allotment and 0.50 metres behind the front of the dwelling
- Balconies, verandas, open porches, covered walkways and porticos that have a maximum height less than 4.50 metres above the ground level may encroach into the front setback by 1.50 metres.
- Facade treatments and /or covered balconies or verandas on the second storey of a building that have a maximum height of less than 6.60 metres above ground level may encroach into the front setback by 1.50 metres.
- Porches, verandas, eaves, fascia, gutters and screens may encroach into the side and rear setback by 0.50 metres
- Domestic fuel tanks and water tanks may encroach into the side and rear setback by 0.50 metres
- Heating and cooling equipment and other services may encroach into the side and rear setback by 0.50 metres



MC MULLEN NOLAN GROUP
31/574 Plummer Street,
Port Melbourne, VIC, 3207
Tel: (03) 7002 2200
Fax: (03) 7002 2299
www.mngsurvey.com.au
MNG Ref : 80004be-04.1a

SCALE
1:500



ORIGINAL SHEET
SIZE: A4

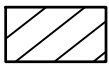
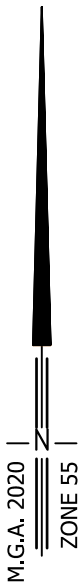
SHEET 1 OF 2

VERSION A


HARRIOTT
AT ARMSTRONG CREEK

SCHEDULE 1

HARRIOTT @ ARMSTRONG CREEK STAGE 4B BUILDING ENVELOPES



- BUILDING ENVELOPE

S

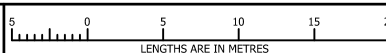
- SMALL LOT HOUSING CODE - TYPE A

- Garages are to be set back a minimum of 5 metres from the primary frontage of the allotment and 0.50 metres behind the front of the dwelling
- Balconies, verandas, open porches, covered walkways and porticos that have a maximum height less than 4.50 metres above the ground level may encroach into the front setback by 1.50 metres.
- Facade treatments and /or covered balconies or verandas on the second storey of a building that have a maximum height of less than 6.60 metres above ground level may encroach into the front setback by 1.50 metres.
- Porches, verandas, eaves, fascia, gutters and screens may encroach into the side and rear setback by 0.50 metres
- Domestic fuel tanks and water tanks may encroach into the side and rear setback by 0.50 metres
- Heating and cooling equipment and other services may encroach into the side and rear setback by 0.50 metres



MC MULLEN NOLAN GROUP
31/574 Plummer Street,
Port Melbourne, VIC, 3207
Tel: (03) 7002 2200
Fax: (03) 7002 2299
www.mngsurvey.com.au
MNG Ref : 80004be-04.1a

SCALE
1:500



ORIGINAL SHEET
SIZE: A4

SHEET 2 OF 2

VERSION A

