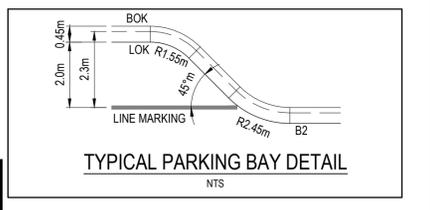
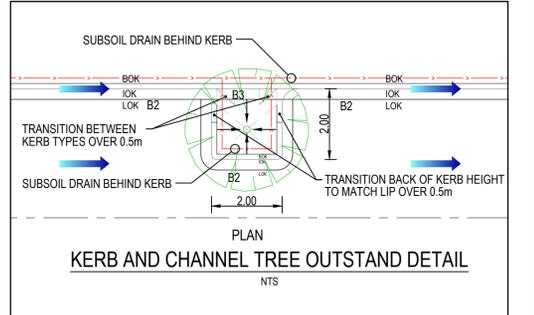


CITY OF GREATER GEELONG TO STAMP HERE UPON APPROVAL

LEGEND - LAYOUT PLAN

- Stormwater drain, pit & property inlet
- Swale drain
- Sewer & maintenance structures
- House drain
- Service conduits
- Existing electricity (underground)
- Existing electricity (overhead)
- Existing gas
- Existing optic fibre
- Existing telstra
- Existing water
- Existing recycled water
- Existing stormwater drain
- Existing sewer
- Existing surface level
- Finished building line level
- Finished ridge line level
- Pavement treatment
- Structural fill > 200mm deep
- Ex. structural fill > 200mm deep
- Direction of fall
- Overland flow
- Allotment to be graded evenly in
- Direction of fall to levels indicated
- Concrete edge strip with subsoil drain, 'no road' sign & barrier
- Limit of works
- Existing tree to be removed
- Permanent survey mark
- Temporary bench mark
- Proposed driveway

- NOTES:**
- ALL VEHICLE AND PRAM CROSSING LAYBACKS, TO BE MINIMUM OF 1.0m FROM PITS.
 - ALL PRAM CROSSINGS TO BE A MINIMUM 2.0m FROM VEHICLE CROSSINGS.
 - ALL PRAM CROSSINGS TO BE DDA COMPLIANT.
 - VEHICLE EXCLUSION MEASURES BETWEEN ROAD RESERVE AND RESERVE TO FORM PART OF LANDSCAPE WORKS.
 - THE USE OF DIRECTIONAL AND HAZARD TACTILE PAVERS MUST ACCORD WITH SECTION 2.2.3.1 OF AS/NZS 1428.4:2002.
 - SEWER MAINTENANCE HOLE CONVERTER SLAB OR CONE, TO BE ROTATED TO ENSURE COVER POSITION IS CENTRALLY LOCATED WITHIN FOOTPATH.
 - CHAINAGES FOR SETOUT OF PROPERTY INLET POINTS, SERVICING FUTURE LOTS, ARE MEASURED FROM THE DOWNSTREAM PIT.
 - CONTRACTOR TO LOCATE ALL EXISTING ASSETS PRIOR TO COMMENCEMENT OF WORKS. ANY DAMAGE TO EXISTING ASSETS TO BE RECTIFIED AT CONTRACTORS EXPENSE. CONTRACTOR TO VERIFY DEPTH OF EXISTING SERVICES, PRIOR TO COMMENCEMENT OF CONSTRUCTION.



SERVICES OFFSET SCHEDULE

ROAD NAME	GAS		RECYCLED WATER		WATER		OPTIC FIBRE		ELECTRICITY		PUBLIC LIGHTING	
	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)
DARTER ROAD	NORTH	2.10	NORTH	2.60	NORTH	3.10	SOUTH	1.80	SOUTH	2.60	SOUTH	1.00*
LIBERATION DRIVE	WEST	2.10	WEST	2.60	NORTH	3.10	EAST	1.00	EAST	1.80	EAST	1.00*
RARITY STREET	WEST	2.10	WEST	2.60	WEST	3.10	EAST	1.80	EAST	2.60	EAST	1.00*

1. * DENOTES OFFSET FROM BACK OF KERB.

NOTE: STREET TREE LOCATIONS SHOWN ARE INDICATIVE ONLY. ULTIMATE LOCATION IS TO BE PROVIDED/CONFIRMED BY LANDSCAPE ARCHITECTS

WARNING
BEWARE OF UNDERGROUND & OVERHEAD SERVICES
The locations of underground & overhead services are approximate only & their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works
DIAL 1100 BEFORE YOU DIG
www.1100.com.au

LOT LEVELS ARE PRELIMINARY ONLY
NOT TO BE USED FOR CONSTRUCTION
(SUBJECT TO CHANGE)



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
F	16/04/20	AS PER COUNCIL COMMENTS (15/04/20)	C.ROHDE	M.TROUNCE	T.PALIOS
E	12/02/20	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS
D	22/11/19	ISSUED TO CLIENT	C.ROHDE	M.TROUNCE	T.PALIOS
C	06/11/19	ISSUED TO CLIENT	C.ROHDE	M.TROUNCE	T.PALIOS
B	17/10/19	ISSUED TO CLIENT	C.ROHDE	M.TROUNCE	T.PALIOS
A	17/07/19	ISSUED TO CLIENT	K.MCKELVIE	A.WALE	T.PALIOS

JINDING AUSTRALIA

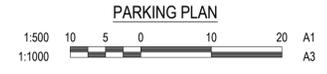
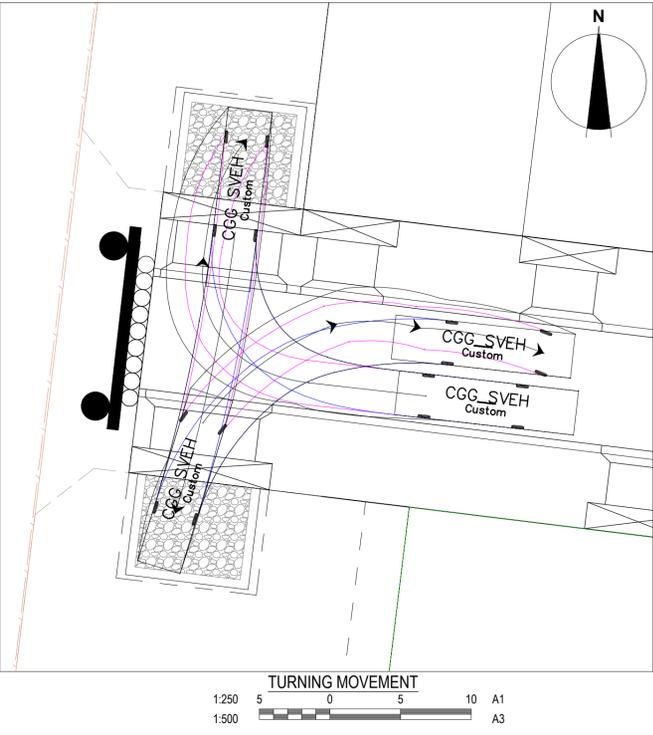
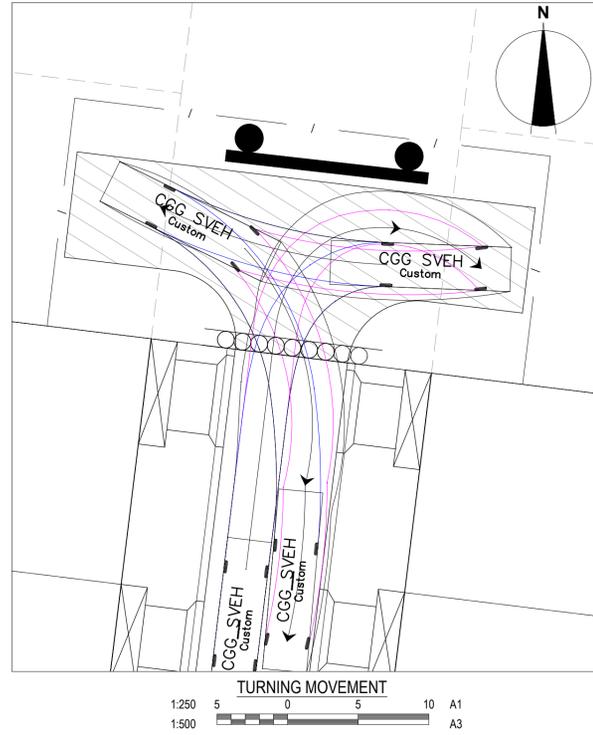
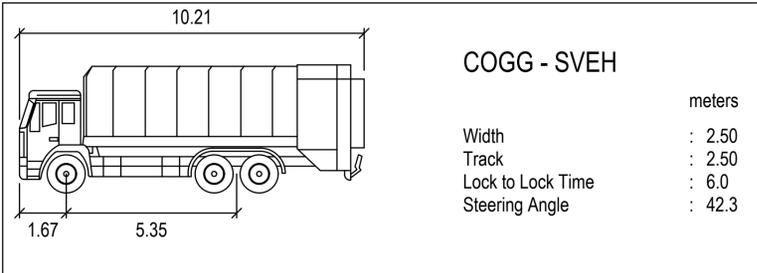
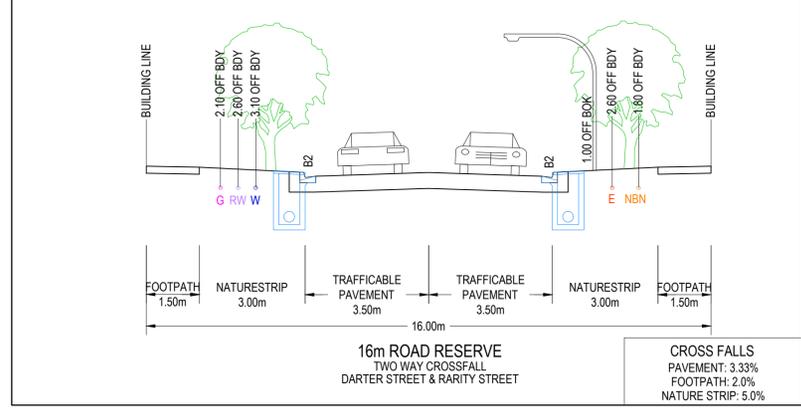
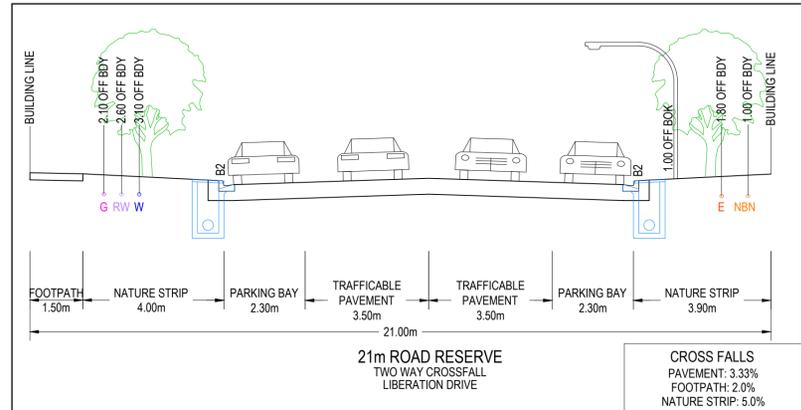
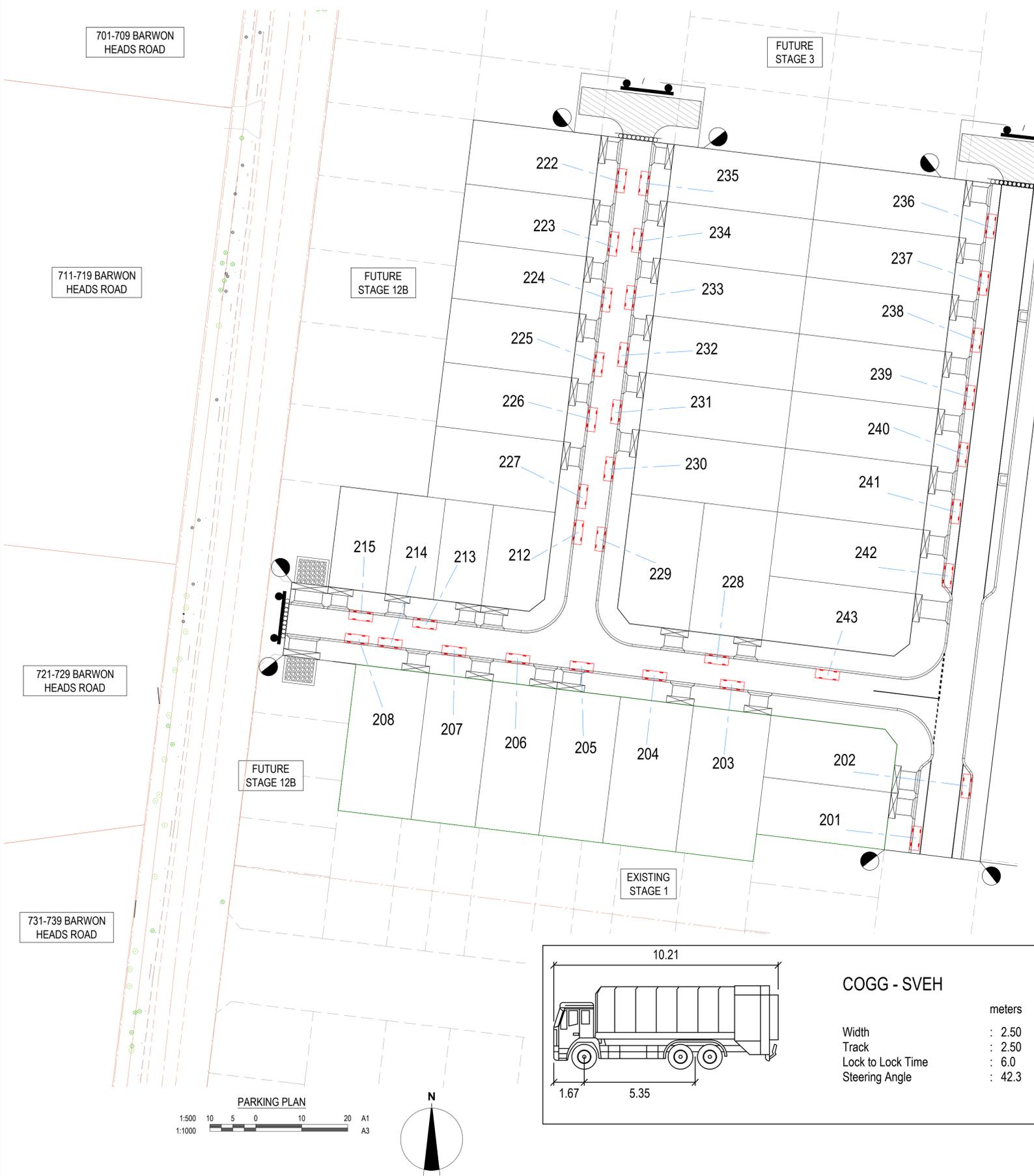
creo CONSULTANTS
Level 7, 176 Wellington Parade
East Melbourne, VIC, Australia 3002

HARRIOTT
AT ARMSTRONG CREEK

HARRIOTT ESTATE - STAGE 2
FUNCTIONAL LAYOUT PLAN

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

SCALE AT A1	DRAWN	DESIGNED
1:500 @ A1	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	20/03/20
PROJECT No.	DRAWING No.	REVISION
170164.2	F100	F



REVISION	DATE	ISSUE DESCRIPTION	DRAWN	CHECKED	APPROVED
F	16/04/20	AS PER COUNCIL COMMENTS (15/04/20)	C.ROHDE	M.TROUNCE	T.PALIOS
E	12/02/20	ISSUED FOR APPROVAL	C.ROHDE	M.TROUNCE	T.PALIOS
D	22/11/19	ISSUED TO CLIENT	C.ROHDE	M.TROUNCE	T.PALIOS
C	06/11/19	ISSUED TO CLIENT	C.ROHDE	M.TROUNCE	T.PALIOS
B	17/10/19	ISSUED TO CLIENT	C.ROHDE	M.TROUNCE	T.PALIOS
A	17/07/19	ISSUED TO CLIENT	K.MCKELVIE	A.WALE	T.PALIOS



DRAWING TITLE
**HARRIOTT ESTATE - STAGE 2
TYPICAL SECTIONS & PARKING PLAN**

STATUS
**ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION**

SCALE AT A1	DRAWN	DESIGNED
AS SHOWN	C.ROHDE	C.ROHDE
PROJECT ENGINEER	PROJECT MANAGER	DATE FIRST ISSUE
M.TROUNCE	T.PALIOS	20/03/20
PROJECT No.	DRAWING No.	REVISION
170164.2	F200	F